



Deck Requirements

Information Package for Development & Building Permit Applications

A Building Permit is required for decks over 2' from the walking surface to grade at any point along the outer edge. The information indicated on this sheet is the minimum that is required for a building permit application. Please complete this form as best as possible and attach it to the building permit application.

SUBMIT WITH APPLICATION FORM

Required information for all residential alterations and additions permit applications:

- Complete and signed application form
- Landowner consent (if applicant is not the registered owner)

- Site plan
- Floor plan
- Cross-section
- Type of Foundation
 - Steel (screw) pilings – Stamped engineered detail required
 - Concrete pilings – Stamped engineered detail required
 - Pad & pier – Post must be connected to the pad to avoid from uplift. Footing pads below grade required inspection prior to backfill
 - Surface mounted – Deck piers mounted on sidewalk blocks with a gravel base *see sample diagram for requirements*

- Payment of application fees

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Development Permit Application

Residential - Accessory Development (Decks, additions, accessory buildings, etc.)

Applicants must complete the checklist(s) below to accompany a development permit application for it to be able to be deemed complete for acceptance and processing by the Town of Stony Plain.

Please check each item included within your package.

SUBMIT WITH APPLICATION FORM

Required information for all change of use development permit applications:

- Complete and signed application form
- Current certificate(s) of title
- Landowner consent (if applicant is not the registered landowner)
- Site plan (2 copies) showing the following:
 - Site area
 - Location of registered easements/rights of way
 - Existing structures
 - Setbacks
 - Elevations
- Payment of application fees

Residential Deck Permit Requirements

Alberta Building Code Information Sheets

GENERAL CONDITIONS:

All municipal zoning and development requirements must be rectified.

All work, materials and construction must comply with the National Building Code – 2019 Alberta Edition.

A set of drawings must be available at the jobsite for inspection purposes.

Site Plan

Indicate the dimensions of the deck and the distances from the deck to the property lines and to any existing buildings on the site.

Floor Plan

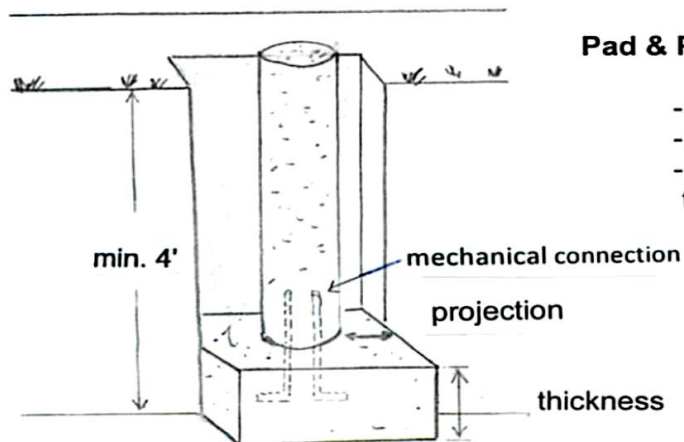
Show view of deck from above, including depth, width, joist direction, joist size and on center spacing, joist span, length of joist cantilever, location of posts, distance between posts, beam cantilever, beam size of member and number of members. Create your own drawing by using the enclosed Deck Floor Plan Illustration as a guide or by filling in the blanks.

Cross-section

Show view of deck from the side, including the deck height at the highest location, size of posts, height of guardrails, foundation type, depth of foundation, footing size and thickness of footing.

Type of Foundation

- Steel (Screw) Pilings - Stamped Engineered Detail required
- Concrete Pilings - Stamped Engineered Detail required
- Pad & Post
 - Post must be connected to the pad to avoid frost uplift
 - Footing pads below grade require inspection prior to backfill
- Pad & Pier
 - Concrete piers to be poured with pad or mechanically connected
 - To be inspected prior to backfill
- Surface Mounted
 - Deck piers mounted on sidewalk blocks with a gravel base
 - See sample diagram for additional requirements

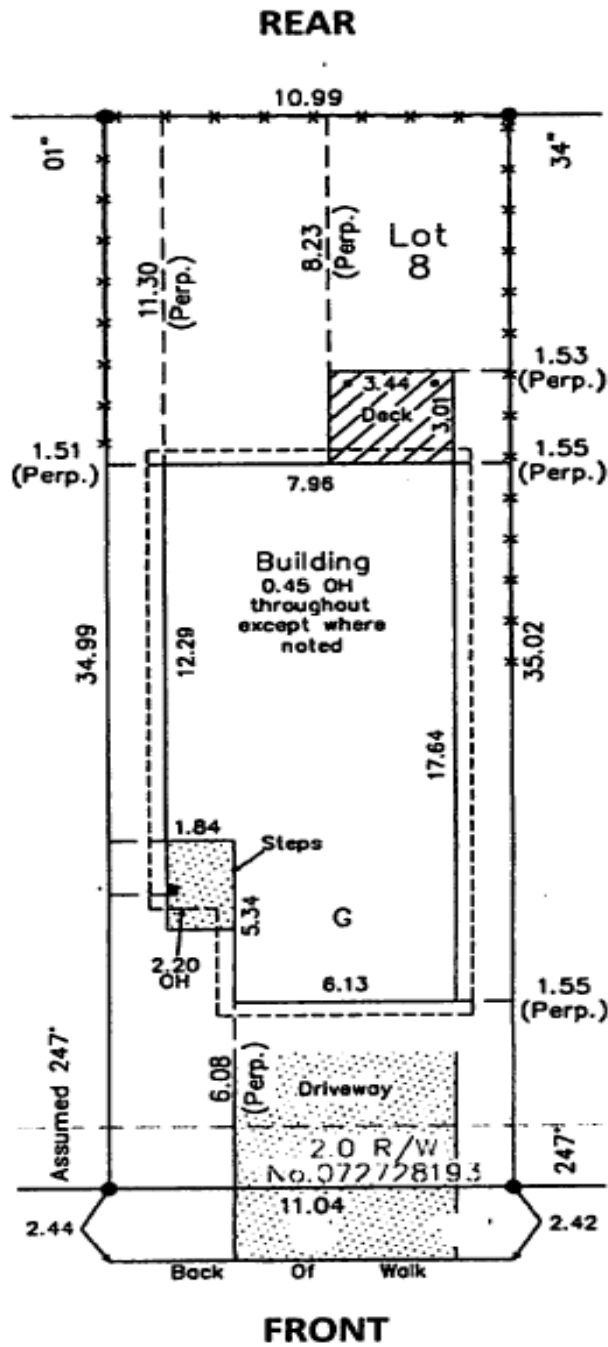


Pad & Pier or Pad & Post Foundation

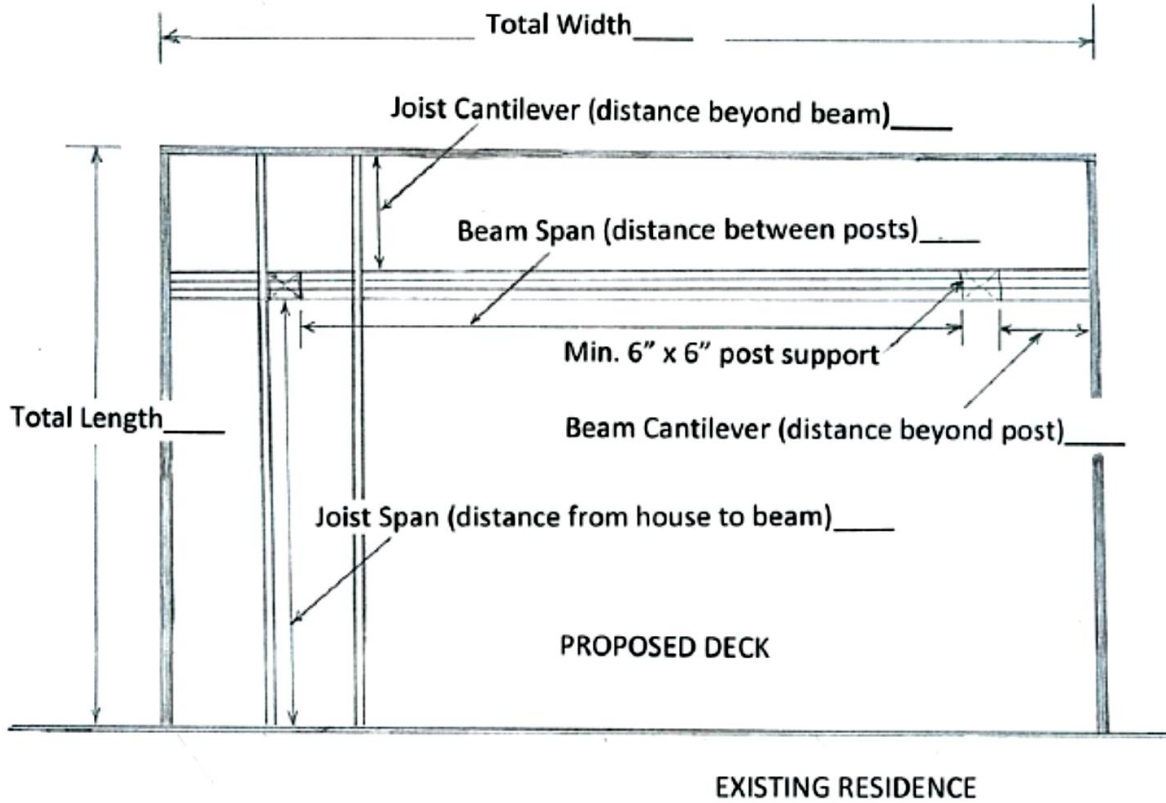
- min. 4' depth below grade
- min. size 2' x 2'
- min. thickness to be not less than projection

Site Plan Illustration

Show dimensions of deck, distance to property lines & distances to other buildings on the property.



Decks over 24" to finished grade require a building and development permit.



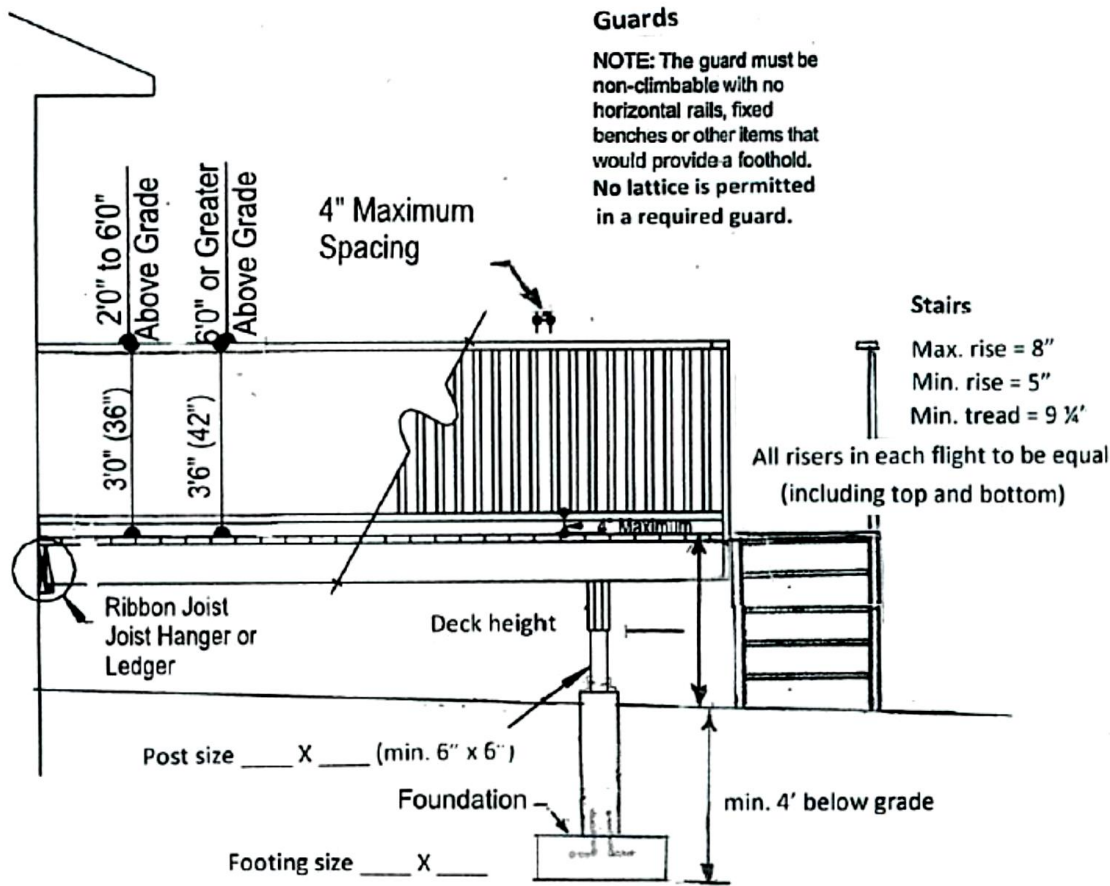
SUBMIT WITH APPLICATION FORM

Indicate size of beam members 2 x _____ and number of members _____ ply

Indicate size of floor joists 2 x _____ and on centre spacing _____

Maximum Beam Spans #1 & #2 Grade Spruce			
3 ply 2 x 8 = 9'-9"	3 ply 2 x 10 = 11'-11"	3 ply 2 x 12 = 13'-10"	
Maximum spans of #1 & #2 Spruce/Pine/Fir c/w solid blocking or bridging spaced at maximum 7' centers.			
2x6 @ 12" oc = 10'-3"	2x8 @ 12" oc = 12'-6"	2x10 @ 12" oc = 14'7"	2x12 @ 12" oc = 16'-5"
2x6 @ 16" oc = 9'-4"	2x8 @ 16" oc = 11'-9"	2x10 @ 16" oc = 13'-8"	2x12 @ 16" oc = 15'-5"
2x6 @ 24" OC = 8'-2"	2x8 @ 24" oc = 10'9"	2x10 @ 24" oc = 12'-10"	2x12 @ 24" oc = 14'-6"
Maximum cantilever of 2 x 8 joists to be 16"			
Maximum cantilever of 2 x 10 joists and larger to be 24"			

Cross-section Illustration



Guards

Guards are required where there is a difference of more than 24" between the walking surface and the adjacent surface. Guards are to be constructed of solid panel, safety glass, or vertical spindles with maximum 4" spaces, pony walls or adjacent house walls.

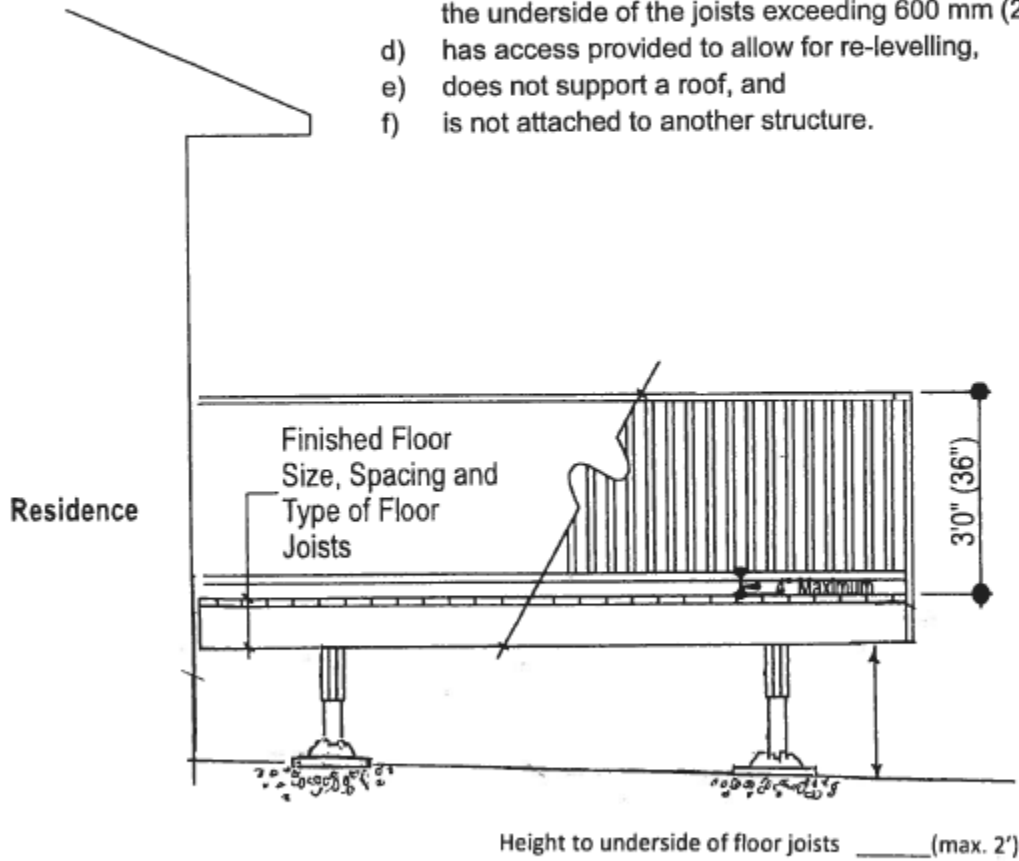
Handrails

Only one handrail is required on exterior stairs having more than 3 risers. Handrails are to be continuous (uninterrupted hand hold), graspable (maximum 2 1/2" in diameter). The minimum height shall be not less than 32" and the maximum height not more than 38". Clearance of minimum 2" is required between a handrail and the surface behind it.

Surface Mounted Decks

Surface mounted decks are permitted provided the deck:

- a) is not more than 1 storey,
- b) is not more than 55 m² (592 ft²) in area,
- c) does not have a distance from the finished ground to the underside of the joists exceeding 600 mm (2 ft),
- d) has access provided to allow for re-levelling,
- e) does not support a roof, and
- f) is not attached to another structure.





BUILDING PERMIT APPLICATION FEES

Minimum permit fee	\$100.00
New construction & additions	\$5.00/m ²
Basement development & renovations	\$2.50/m ²
Walk-out basement development & secondary suites	\$4.00/m ²
Foundations of footing only	\$2.50/m ²
Accessory buildings	\$2.50/m ²
Re-inspection fee (residential)	\$100.00/hr min

Multi-family dwellings/Commercial/Industrial/Community Services & Institutional

Minimum permit fee	\$500.00
New construction and additions	\$5.00/m ²
Basement & other finished areas (incl. parkades)	\$2.50/m ²
Foundations of footing only	\$2.50/m ²
Accessory buildings	\$3.00/m ²
Renovations/tenant improvements	\$250.00
Re-inspection fee	\$250.00/hr min.

Miscellaneous building permit fees

Swimming pools (in ground), hot tubs or portable pools, decks, wheelchair ramps, etc., HVAC installation, wood stove/fireplace, temporary structures (event tents, etc.) \$100.00

Manufactured home – new	\$200.00
Change of use	\$250.00
Water / sewer installation report (PW)	\$50.00

Safety codes consultation

Safety codes consultation service	\$150.00/hr min.
Building permit re-inspection (residential)	\$100.00/hr min.
Building permit re-inspection (multi-family, commercial, institutional, community services)	\$250.00/hr min.
Building permit revision & extension	50% of BP fee
Penalty for beginning construction without permits	100% of BP fee

Relocation / demolition permit

Residential	\$200.00
Non-residential (commercial/industrial/institutional)	\$500.00

Water meter deposit

Single family residential	Market value
Multi-family residential	Market value
Commercial. Industrial, institutional	Market value

DEVELOPMENT PERMIT APPLICATION FEES

New Construction

Single detached & semi-detached dwellings	\$150.00
Multi-family or high density – per unit	\$100.00
Commercial, industrial, community services (includes additions) min	\$300.00 \$250.00 + \$1.00/m ²

Permitted use

\$150.00
\$100.00
\$300.00 \$250.00 + \$1.00/m ²

Discretionary use

\$250.00
\$150.00
Additional \$100.00

Miscellaneous

Demolition – Residential	\$75.00	-
Demolition – Non-Residential (commercial/industrial/institutional)	\$125.00	-
Residential – Decks, additions, accessory buildings, home occupations	\$75.00	\$125.00
Commercial, industrial, institutional, community services – Decks, accessory buildings, etc.	\$125.00	\$225.00
Preliminary development permit – non-refundable	\$500.00	-
External agency applications and referrals (provincial and federal)	\$500.00	-
Change of use	\$125.00	\$225.00
Boulevard crossing (driveway widening)	\$50.00	-
Earthworks (excavation, clearing, filling of vacant lots)	\$500.00	-
Signage (all signs other than billboards and electronic message boards)	\$100.00	\$200.00
Signage (billboards > 10m ² , electronic message boards)	\$200.00	\$300.00



Bylaw applications or amendments

Application fee for new or major amendment to Statutory Plans (includes Municipal Development Plans, Area Structure Plans and Area Redevelopment Plans) *non-refundable if unsuccessful*	\$4000.00
Application fee for minor amendments to Statutory Plans or new or amendment to Non-Statutory plans (includes Land Use Bylaw Amendments, road closures, changes to reserve lands. Etc.)	\$3000.00
Re-submission fee or revision fee	25% of original fee

Compliance Reports

Residential (completed within 5-7 business days)	\$150.00
High density, comprehensive sites, commercial, industrial, community services	\$250.00
Revised compliance – within six months of original compliance	\$75.00
Rush service – all land uses (completed within 3 business days)	Double the regular fee

Development agreements and other agreements

Major development agreement (generally for subdivision applications)	\$5000.00
Minor development agreement (generally for development permit applications)	\$3000.00
Other agreements (easements, assignments, encroachments, etc.) and amending agreements	\$2000.00

Subdivision and bare land condominium fees

Base Per application	\$500.00
Additional application fee for approvals per lot or bare land condominium unit (includes remnant parcels and common property/ excludes reserve on public utility lots)	\$300.00/lot or unit
Re-submission/revision fee	25% of original fee
Subdivision endorsement extension request fee	\$250.00 per lot or unit (max. \$1000.00)
Base endorsement application	\$300.00
Additional application fee for endorsements per lot or bare land condominium unit (includes remnant parcels and common property; excludes municipal reserve and public utility lots)	\$200.00/per lot
Additional application fee for endorsements per condominium unit (for condominium conversions)	\$40.00/unit or lot

Development security deposits

Commercial, industrial, institutional, community services & high density developments	\$10,000.00
Clearing, excavation, filling and grading of vacant lot for high density comprehensive site, Commercial, institutional, industrial (in-fill lot)	\$10,000.00
New construction – commercial industrial, institutional or high density development- landscape deposit	\$10,000.00
Clearing, excavation, filling and grading of vacant lot for agricultural, future development or pre-subdivision of a parcel	\$10,000.00 plus \$2,500.00/ha to a max. of \$100,000.00

Environmental & Parcel assessment information requests

Environment / Parcel Assessment Correspondence / Parcel Information Request	\$200.00/per parcel
Environmental records search request	\$200.00/per parcel
District and land use confirmation letter	\$100.00

Land title transactions

Caveats – Discharges or Postponements (single request)	\$75.00, plus Land Title fees
Discharge of caveats for development agreements or other instruments	\$100.00, plus Land Title fees
Land Title searches and copies of instruments	Fees charged to Town by Land Titles

Planning Documents (GST may be applicable)

Printing of planning documents	\$40.00 - \$100.00
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Refunds

Refund information available upon request