

2011

# Main Street Streetscape Plan



Downtown Redevelopment Plan  
Phase One

# Background



Main Street Stony Plain 1925 - The “Heart” of Town



Parking study completed in 2009



Downtown Charrette October 2009

The commercial area on either side of 50 Street from 54 Avenue to 49 Avenue is known as “Main Street” and is a fine example of Stony Plain’s small town atmosphere. Over the years, as recreational facilities, schools, parks, homes and businesses were developed throughout the Town, the downtown area also emerged as a place where many significant cultural events took place. Currently, the majority of the buildings and streets in the downtown area are over 50 years old, and targeted reinvestment is needed to maintain the vibrancy of the downtown as a cultural and commercial center for future generations to enjoy.

In 2007, the Town of Stony Plain established the Community Sustainability Plan that provides a holistic and long term direction for the Town. It addresses four major themes of sustainability: social equity, economic viability, cultural viability and environmental responsibility. The Town recognized that a plan was needed to guide the redevelopment of the downtown as public and private reinvestment occurred. The Downtown Redevelopment Working Group was formed to prepare a plan that encourages a mix of commercial and residential land uses while strengthening the cultural amenities available in the neighbourhood.

Initially, the Downtown Redevelopment Working Group spent much of its time studying the downtown area to understand what essential elements make this place special in our community. The group studied the area making observations

of the cultural activities that take place, design elements from past revitalization efforts and the existing neighbourhood characteristics. A Parking Study was also completed in the spring of 2009. Then in the fall of 2009 the Town engaged the services of Earthscape Consultants to assist the Working Group in consulting directly with the community through a charrette. The charrette was held over a three day period and included residents and business owners from Stony Plain, especially those in the downtown area.

The Downtown Design Charrette Report was presented to Council in November 2009. Council directed administration and the Working Group to evaluate the concepts in the report and develop a comprehensive implementation plan for the streetscape, programming and marketing of the downtown.

Using input gathered from community members, observations of the Working Group and the principles set by Town Council in the Municipal Development Plan, the Working Group developed a vision for guiding the redevelopment of:

**Downtown Stony Plain as a vibrant mixed-use neighbourhood that builds upon its past, and where people can shop, live, work and play.**

Since Town Administration determined that the water and sewer infrastructure under 50 Street is in need of an upgrade the Downtown Working Group decided to focus on the 50

Street (Main Street) Streetscape and minimize the impact of the construction while addressing some of the key recommendations in the Charrette Report. Future phases will address other areas of downtown redevelopment as identified in the Charrette Report.

The Stony Plain Main Street Streetscape Plan aims to build on the existing small town atmosphere of the historic downtown area by:

- Enhancing the pedestrian environment
- Establishing bicycle route linkages
- Improvement of landscaping
- Increasing seating opportunities
- Development of traffic calming features
- Enhancement of spaces for cultural events
- Encouraging unique shopping, dining and gathering experiences

The following represents an overview of the conceptual plan for phase one of the redevelopment of Stony Plain’s downtown streetscape.

# Existing Downtown Elements

COACH-STYLE LAMPOSTS WITH HANGING BASKETS

LANDSCAPED CURBS

TRADITIONAL WOOD SIGNPOSTS

DECORATIVE TRASH RECEPTACLES

HERITAGE-STYLE WOOD BENCHES

UNIQUE PAVING

HISTORIC MURALS



The historic downtown business area of Stony Plain has approximately 70 businesses and a mix of single family homes, apartments, schools, playgrounds and churches.

The majority of the commercial space is arranged along 50 Street from 49 Avenue to 54 Avenue. This corridor is two blocks east of Highway 779 and is composed primarily of locally owned small retail businesses, restaurants, a grocery and hardware store, boutiques, salons, financial institutions and offices for a variety of service providers.

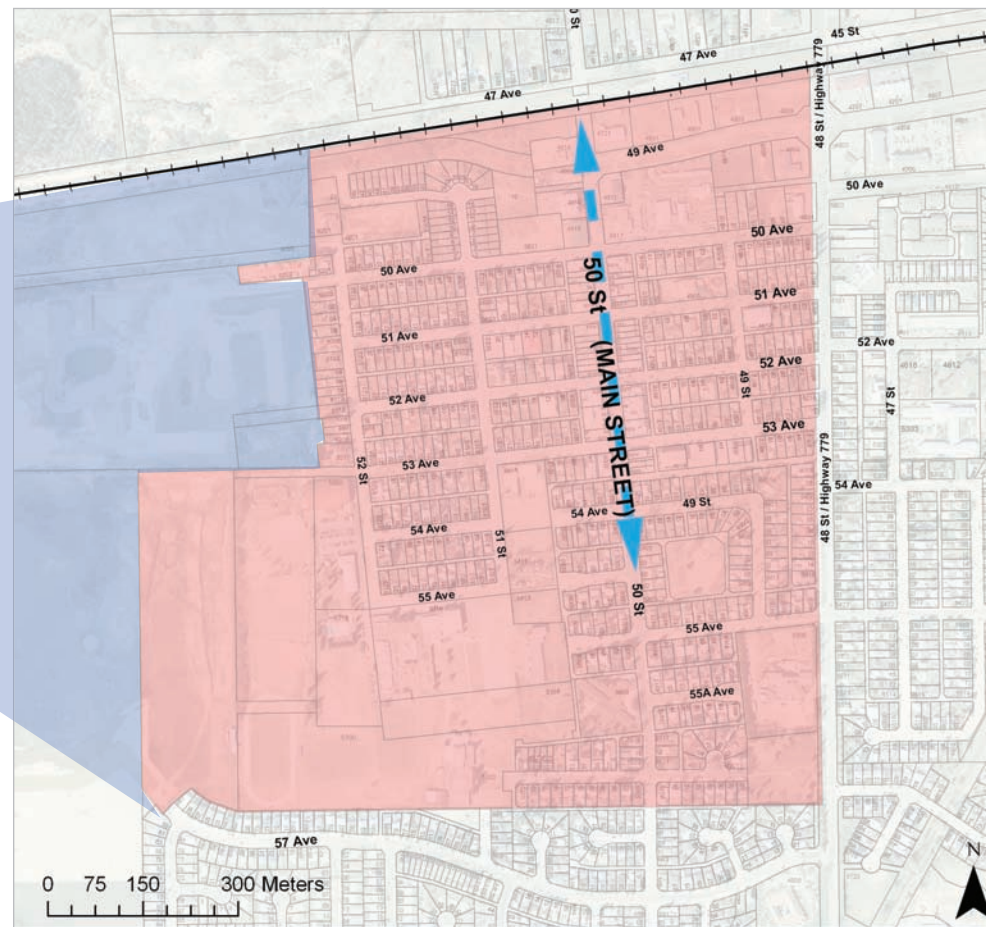
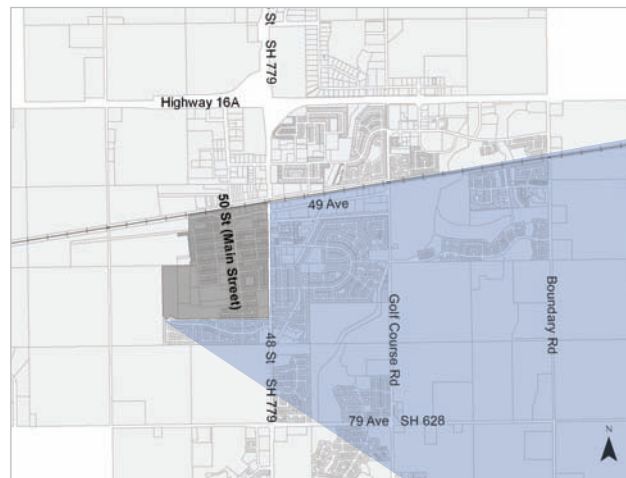
50 Street (Main Street) has angle parking while the surrounding avenues provide parallel parking. Several small public parking lots exist within the downtown area. There is also limited parking that can be accessed in the laneways that are often used by business staff and delivery trucks.

The streetscape of the downtown area includes coach-style lighting, benches, garbage receptacles, landscaping, trees and murals that celebrate and highlight historical events.

The water and sewer infrastructure that runs along 50 Street has been scheduled for replacement as part of the capital plan and is expected to disturb the majority of the existing streetscape. It is intended that the proposed streetscape improvements could coincide with the infrastructure improvements and minimize the impact on the downtown area.



# Downtown Neighbourhood (Old Town)



Currently there is no consistent name for the downtown neighbourhood, sometimes referred to as “Old Town”. The suggested neighbourhood names of “Downtown” and “Old Town” are used throughout this document.

# Main Street Streetscape Key Plan



Earthscape Consultants



# North Gateway Concept - 49 Avenue & 50 Street (Main Street)



## Key Purpose:

Create a sense of arrival at this important gateway into the historic downtown area.

Provide an opportunity to reduce traffic speed and a safe crossing for pedestrians and cyclists.

## Constraints:

Improvements in this area must take into consideration possible future alignment/extension of 49 Avenue and must not interfere with safety and sightlines.

## Proposed Improvements:

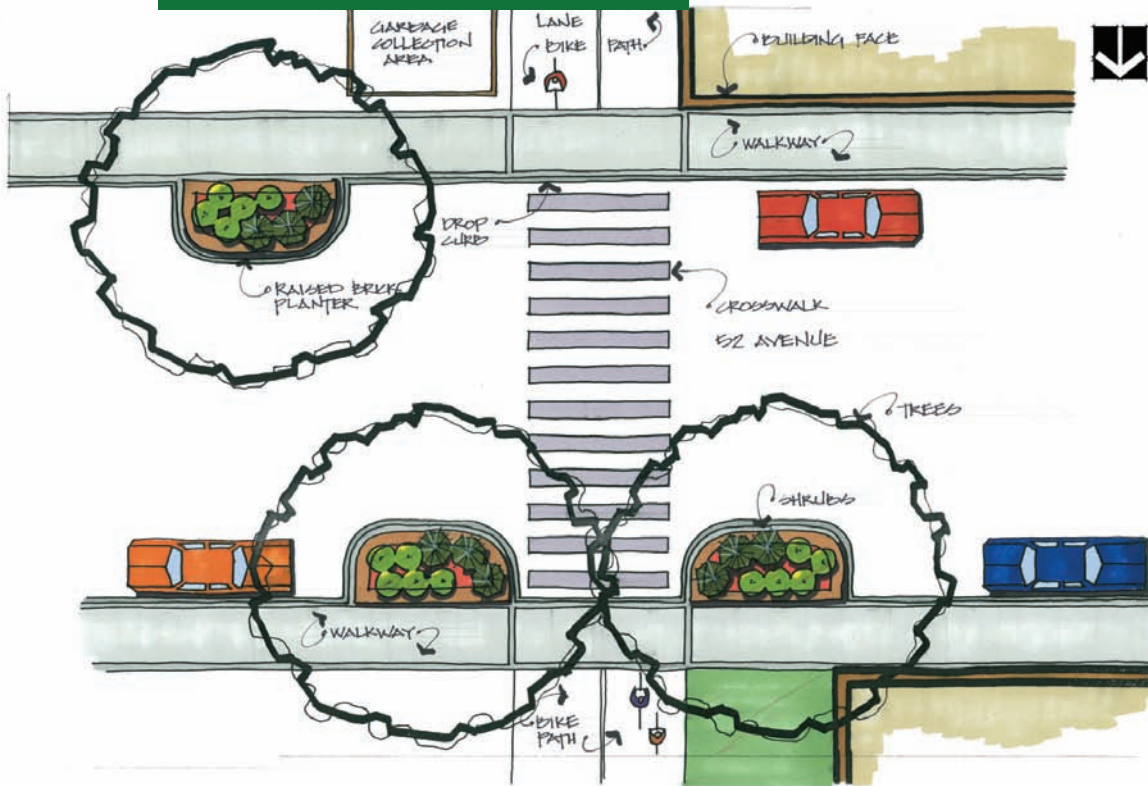
- Gateway signage
- Public art display (exact location to be determined)
- Enhancement of greenspace on the east side with a garden to include shrubs, large rocks and trees
- Enhancement of the crosswalk with distinctive paving, benches and raised brick landscaped planters
- Refinish existing traditional benches, garbage receptacles and lighting
- Upgraded concrete sidewalk to the east side of the street

PERSPECTIVE VIEW OF NORTH GATEWAY ENTRANCE FEATURE



# Bike Path & Laneway Crossing Concept

PLAN VIEW OF IMPROVEMENTS TO THE LANEWAY CROSSING USING 52 AVENUE AS AN EXAMPLE.



## Key Purpose:

Enhancement of laneways and create a cycling route into and through the downtown.

## Constraints:

Parking will be adjusted at each crossing for the safety and sightlines. Driveway and building frontage will be considered at each crossing. Further consideration will be given to traffic signs, line markings and crossings for the laneway bike path during the detailed design stage.

## Proposed Improvements:

- Flared curbs to provide traffic calming and create safer crossings for cyclists and pedestrians
- Raised brick landscaped planters
- Addition of paving, line markings and lighting to the laneway bike path

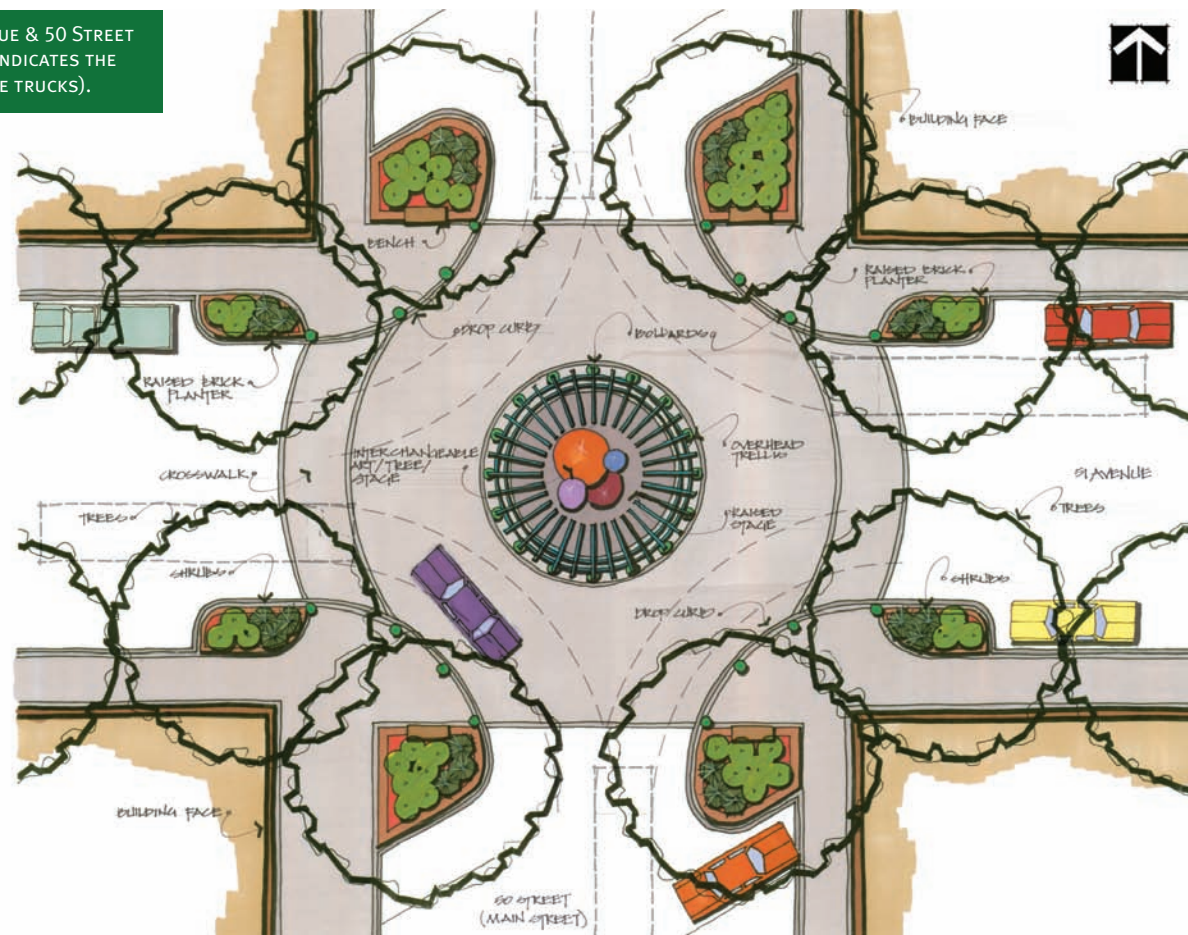
PERSPECTIVE VIEW FACING SOUTH AT THE 52 AVENUE LANEWAY CROSSING.





# Centre Island Concept - 51 Avenue & 50 Street (Main Street)

PLAN VIEW OF IMPROVEMENTS TO THE 51 AVENUE & 50 STREET (MAIN STREET) INTERSECTION. DOTTED LINE INDICATES THE TURNING RADIUS FOR LARGE VEHICLES (FIRE TRUCKS).



## Key Purpose:

Create a focal point to display public art, stage festivals, events and showcase the annual community Christmas tree.

## Constraints:

Improvements must not interfere with safety or sightlines and allow for large vehicles to maneuver through the intersection.

## Proposed Improvements:

- Focal point will be surrounded with decorative bollards
- Flared curbs and decorative bollards to provide traffic calming
- Increase pedestrian safety by decreased crosswalk length
- Enhancement of crosswalks with distinctive paving
- Raised brick landscaped planters
- Refinish existing and addition of traditional benches, garbage receptacles and lighting
- Directional signage to guide traffic around the centre island
- Removable pergola on a circular raised stage in the centre of the intersection

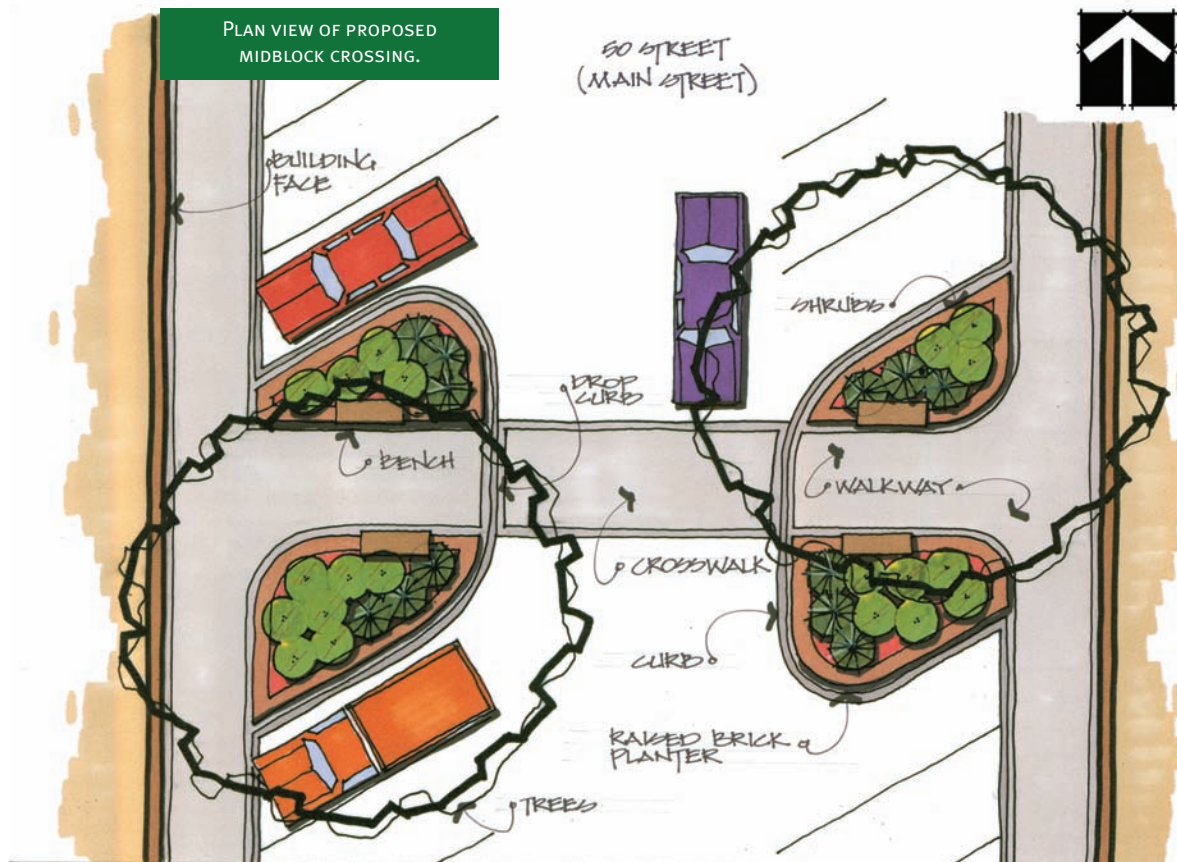


# Centre Island Concept

PERSPECTIVE VIEW FACING WEST ON 51 AVENUE IN  
SPRING, SUMMER, FALL AND WINTER



# Midblock Crossing Concept



## Key Purpose:

Introduce a safe pedestrian crossing between the intersections that enhances the vibrancy of the downtown as a shopping and gathering destination.

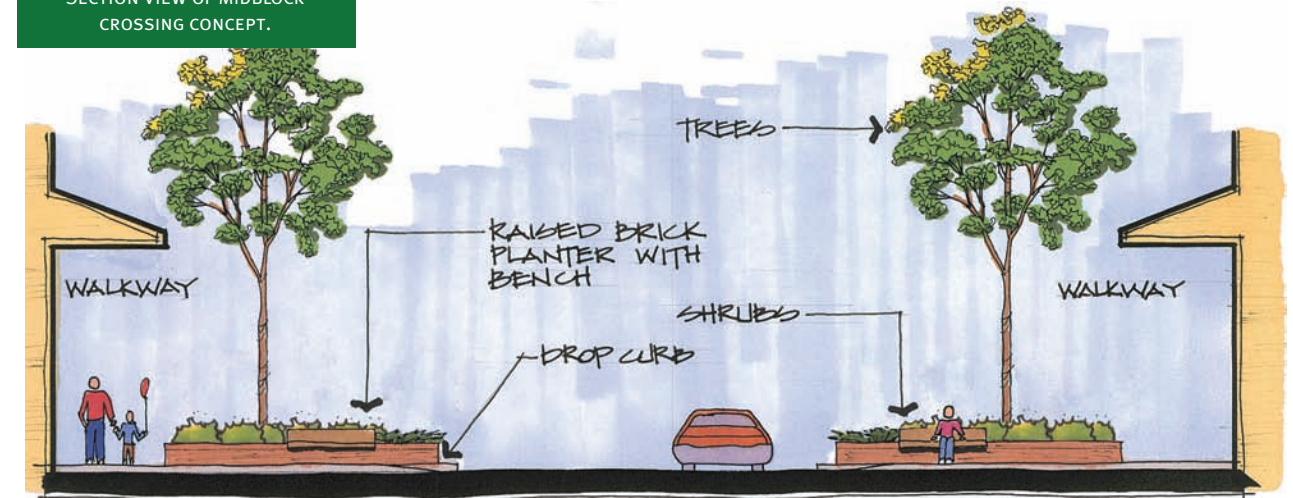
## Constraints:

Improvements must not interfere with safety or sightlines and allow for large vehicles to maneuver through the intersection.

## Proposed Improvements:

- Flared curbs and decorative bollards to provide traffic calming
- Increase pedestrian safety by decreased crosswalk length
- Enhancement of crosswalks with distinctive paving
- Raised brick landscaped planters
- Refinish existing and addition of traditional benches, garbage receptacles and lighting

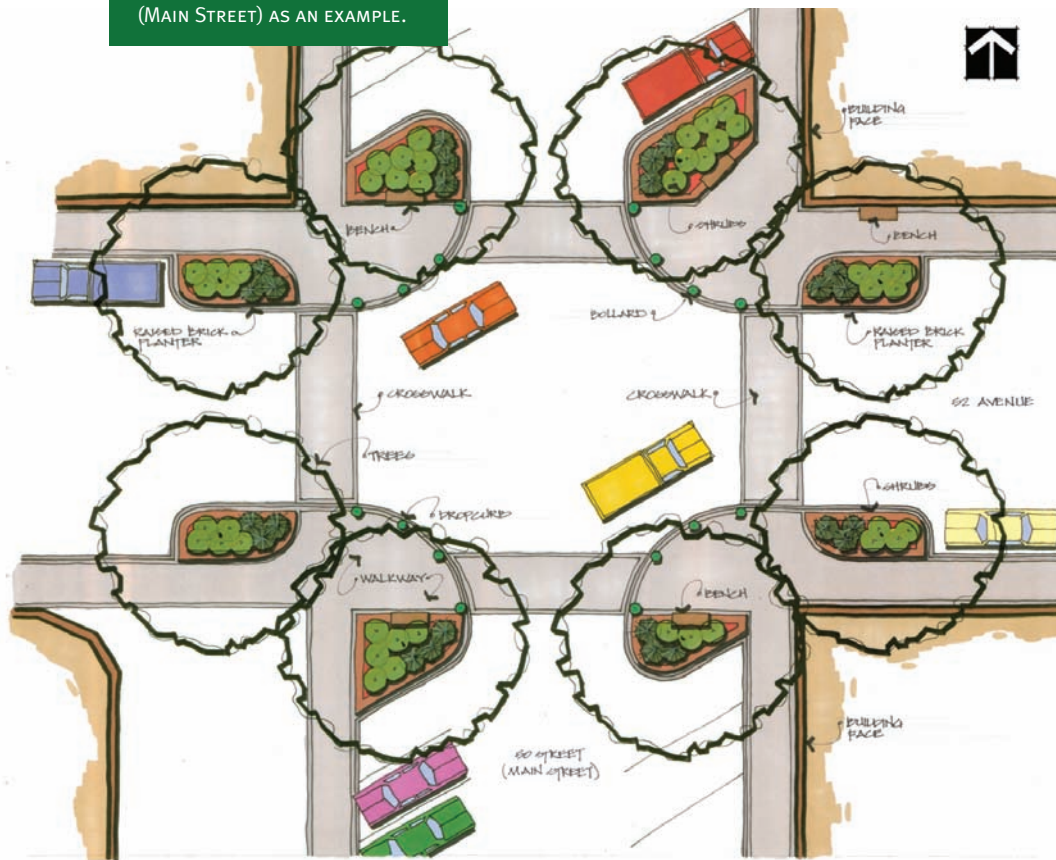
SECTION VIEW OF MIDBLOCK CROSSING CONCEPT.





# Intersection Concept

PLAN VIEW OF INTERSECTION IMPROVEMENTS USING 50 STREET (MAIN STREET) AS AN EXAMPLE.



## Key Purpose:

Create opportunities for pedestrian and vehicle traffic to pause and take in the atmosphere of the downtown.

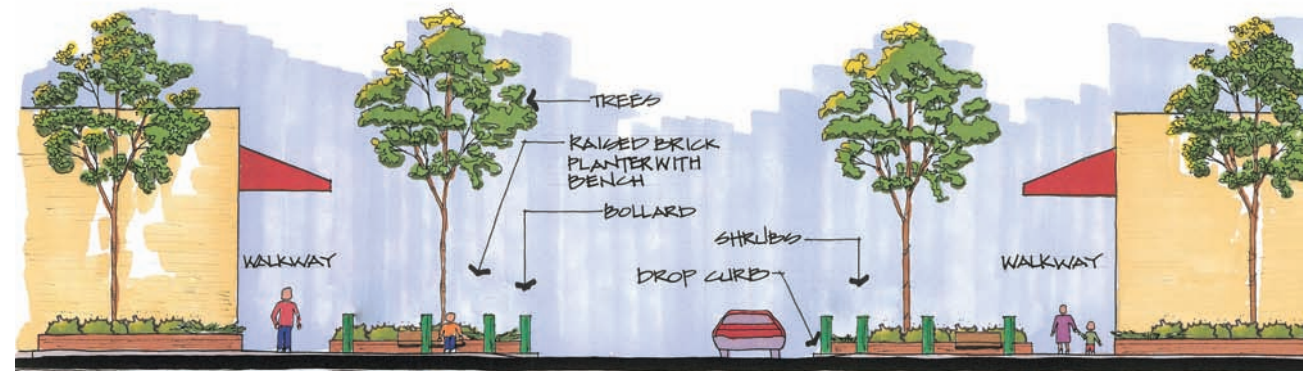
## Constraints:

Improvements in this area should not interfere with the angle parking configuration and consideration will be given at each crossing for safety and sightlines.

## Proposed Improvements:

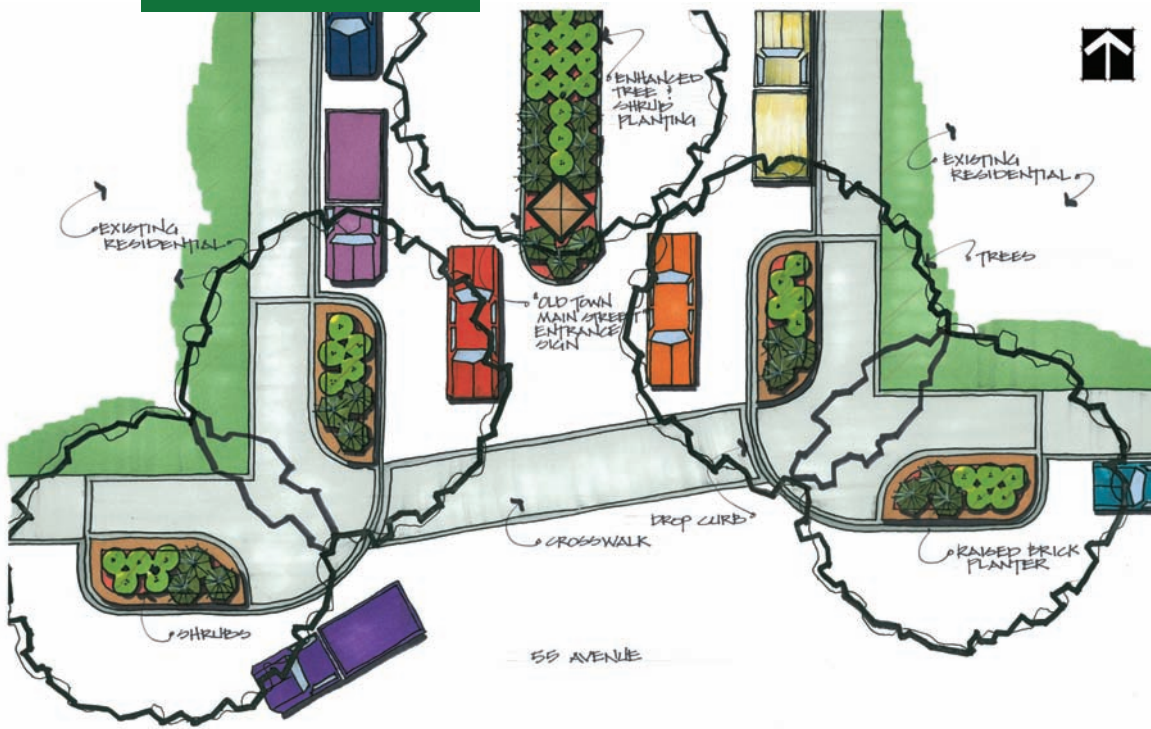
- Flared curbs and decorative bollards to provide traffic calming and increase of pedestrian safe crossing areas
- Enhancement of the crosswalks with distinctive paving and raised brick landscaped planters
- Addition of benches on each corner
- Refinish existing traditional benches, garbage receptacles and lighting

SECTION VIEW OF INTERSECTION CONCEPT FACING 50 STREET (MAIN STREET).



# South Gateway Concept - 55 Avenue & 50 Street (Main Street)

PLAN VIEW OF THE SOUTH ENTRANCE TO 50 STREET AT 55 AVENUE.



## Key Purpose:

Create a sense of arrival at this important gateway into the "Old Town" neighbourhood.

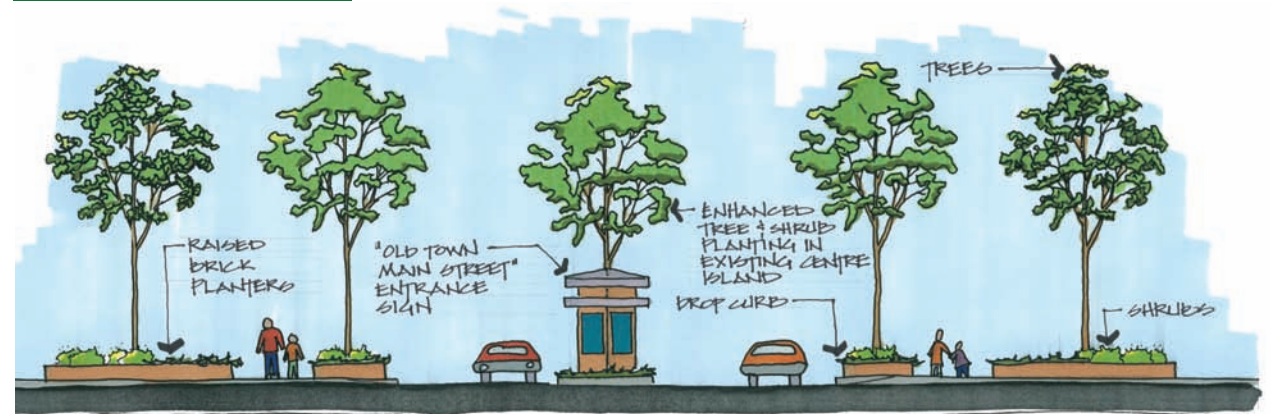
## Constraints:

Future consideration needs to be given to access for cyclists at this gateway during the detailed design stage. Improvements must not interfere with safety and sightlines.

## Proposed Improvements:

- Neighbourhood entrance signage in the existing meridian
- Enhancement of the plantings in the existing meridian
- Enhancement of the crosswalk with distinctive paving and raised brick landscaped planters
- Refinish existing traditional benches, garbage receptacles and lighting

SECTION VIEW OF MAIN STREET FACING NORTH AT 55 AVENUE.



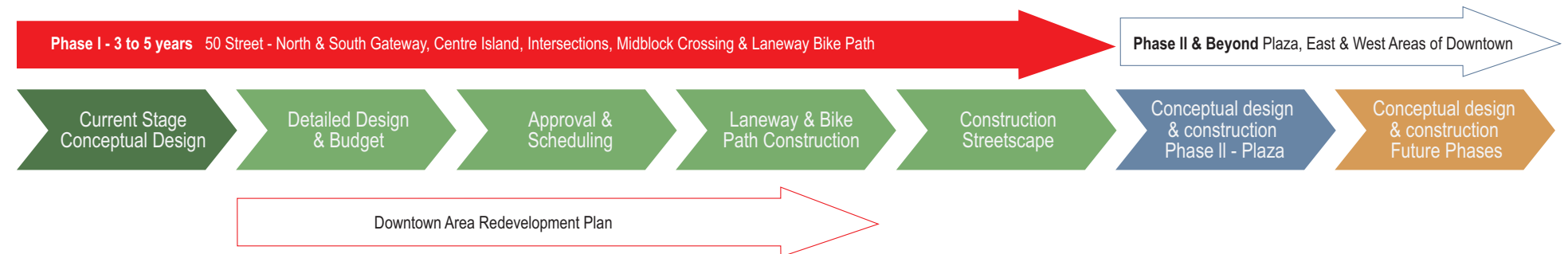


# Implementation

Revitalizing the downtown of Stony Plain has been a goal of the Town for a number of years. The illustrations in this document represent the results of extensive public consultation that included discussions with key business

people, community members, Town administration and consultants. The next step in the implementation of this plan is to enter the detailed design phase. The work illustrated in this document is anticipated to be completed in several

phases over a 3 to 5 year period based on available funding. It should be noted that this plan is conceptual in nature and final details of construction will be confirmed at the detailed design and budget stage.



See Appendix A: Glossary for definition of terms.

# Phasing Plan



- LEGEND**
- PHASE 1 MAIN STREET STREETSCAPE
  - PHASE 2 TOWN SQUARE
  - FUTURE PHASES



# Appendices & Resources

**Appendix A: Glossary of Terms**

**Appendix B: Photo gallery of images of the Main Street area, May 2011**

**Resources:**

*The Town of Stony Plain Downtown Design Charrette Summary Report, November 2009.*  
*Downtown Parking Survey Results, September 2009.*

**Resource documents are available at [www.stonyplain.com](http://www.stonyplain.com).**

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# Appendix A



Glossary of Terms



# Glossary of Terms

## **Charrette**

A public meeting or workshop devoted to a concerted effort to solve a problem or plan the design of something.

## **Community Sustainability Plan**

A community planning document that support the development of sustainable, healthy, and vibrant communities. It addresses the aspects of environment, society, culture, and economic development within a community and/or a region, and focuses on integrating these considerations to achieve a 20 – 30 year (and beyond) vision for the community.

## **Conceptual Design**

A plan or drawing relating to or based on mental concepts produced to show the look and function or workings of a building, object, or space before it is made.

## **Downtown**

The downtown area being the historic centre or heart of a town and surrounding region, providing a mixture of retail, office, arts and culture, housing, civic and entertainment uses.

## **Downtown Area Redevelopment Plan**

A statutory plan for the redevelopment of the Old Town neighbourhood that may regulate the preserving, improving of land or buildings, the rehabilitation or removal of buildings, construction or replacing of buildings, establishing, improving or replacing roads, public utilities or other services, and generally facilitating any other development of the area. An Old Town Area Redevelopment Plan would be adopted by Council by Bylaw which would be accompanied by a public process pursuant to the Municipal Government Act.

## **Downtown Redevelopment Working Group**

As determined by Council, the Downtown Redevelopment Working Group will facilitate the Downtown Redevelopment Plan. The Downtown Redevelopment Working Group will endeavor to achieve the objective under social equity strategy of in the Town of Stony Plain Community Strategic Plan, maintaining the importance of the downtown has been identified as a key action item:

1.1 Create a downtown redevelopment plan including the pursuit of cultural amenities and the promotion of mixed use

## **Economic Development**

Creating a positive environment from which local business can succeed and grow, attracting new enterprise to the community.

## **Infrastructure**

Systems and facilities (e.g. roads, sanitary sewers, water treatment and distribution network, power lines, and telephone and cable TV systems) that service urban development.

## **Key Plan**

A small-scale plan of a building or building group which indicates the placement of the principal elements of the scheme.

## **Main Street**

Refers to 50 Street from 55 Avenue to 49 Avenue.

## **Master Plan**

A document that describes, in narrative and with maps, an overall development concept. The master plan is used to coordinate the preparation of more detailed plans or may be a collection of detailed plans. The plan may be prepared by a municipal government to guide private and public development or by a developer on a specific project.

## **Municipal Development Plan**

A plan adopted by Council as a Municipal Development Plan pursuant to the Municipal Government Act, which is an overall policy guide to a municipality's future growth and development.

# Glossary of Terms

## **Neighbourhood**

A residential area designed as a comprehensively planned unit containing a variety of housing types and community services and parks necessary to meet the needs of the neighbourhood population.

## **Objective**

Directional statements that are usually phrased in measurable terms for given time frames.

## **Old Town Neighbourhood**

The suggested name for the historic downtown neighbourhood of Stony Plain. The Old Town Neighbourhood has a mix of commercial, residential and institutional land uses.

## **Policy**

A statement identifying a specific course of action for achieving objectives.

## **Section View**

A two dimensional projected view from the side, front or back, which shows a cross section of a structure or area along a specified plane.

## **Streetscape**

The elements within and along the street right-of-way that define its appearance, identity, and functionality, including adjacent buildings and land uses, street furniture, landscaping, trees, sidewalks and pavement treatments among others.

## **Sustainable Development**

Development that meets the needs of today without comprising the ability of future generations to meet their own needs. This means the community needs to sustain its quality of life and accommodate growth and change by harmonizing long-term economic, environmental and social needs.

## **Pergola**

An arched structure in a garden or park consisting of a framework.

## **Perspective View**

Perspective view is a three-dimensional image that portrays height, width and depth. This allows the viewer to get a more realistic image or graphic.

## **Phasing Plan**

To plan or carry out systematically by phases.

## **Plan View**

A drawing of a structure with the view from overhead, looking down.



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# Appendix B



Photo gallery of images of the Main Street area, May 2011



# North Gateway - 49 Avenue & 50 Street (Main Street)





# South Gateway - 55 Avenue & 50 Street (Main Street)



# Intersection





# Centre Island



# Midblock Crossing





# Bike Path & Laneway Crossing

