

BYLAW 2521/D&P/14

BEING A BYLAW OF THE TOWN OF STONY PLAIN IN THE PROVINCE OF ALBERTA FOR THE PURPOSE OF ADOPTING THE BRICKYARD AT OLD TOWN AREA STRUCTURE PLAN


WHEREAS Section 633(1) of the Municipal Government Act 2000 enables the Municipal Council to adopt by bylaw an area structure plan for the purpose of providing a framework for subsequent subdivision and development of an area of land in a municipality;

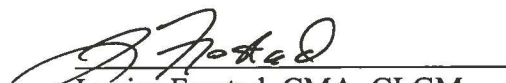
AND WHEREAS The Brickyard at Old Town Area Structure Plan addresses the requirements of an area structure plan as outlined in Section 633(2) of the Municipal Government Act, RSA, 2000;

NOW THEREFORE, the Council of the Town of Stony Plain in the Province of Alberta, pursuant to authority conferred upon it by the Municipal Government Act, RSA, 2000 enacts as follows:

1. That this Bylaw 2521/D&P/14 be cited as "The Brickyard at Old Town Area Structure Plan."
2. That the following Bylaws are hereby repealed:
 - a. Bylaw 805 West Glen Area Structure Plan
 - b. Bylaw 872 Amendment to West Glen Area Structure
 - c. Bylaw 977 Amendment to West Glen Area Structure
 - d. Bylaw 2287/D&P/07 Lakeview Area Structure Plan
 - e. Bylaw 2299/D&P/07 Tiffany Greenfield Area Structure Plan
3. That Schedule "A" attached hereto is hereby adopted as part of this Bylaw
4. If any portion of this bylaw is declared invalid by a court of competent jurisdiction, then the invalid portion must be severed and the remainder of the bylaw is deemed valid.
5. That this bylaw shall come into force and take effect upon the date of third reading and singing in accordance with the Municipal Government Act.

Read a first time this 14th day of October, A.D. 2014.



Mayor William Choy

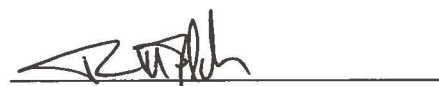

Louise Frostad, CMA, CLGM
Director of Corporate Services

Public Hearing held on the 10th day of November, A.D. 2014.

Read a second time this 10th day of November, A.D. 2014.

Read a third time this 10th day of November, A.D. 2014.


Mayor William Choy


Tom Goulden
Town Manager

SCHEDULE “A”

The Brickyard at Old Town Area Structure Plan

THE BRICKYARD

A T • O L D • T O W N

Area Structure Plan

November 2014



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1.0 INTRODUCTION

1.1 Purpose

The Brickyard at Old Town Area Structure Plan (ASP) describes the land use framework, servicing and transportation strategy and policy framework for the development in the ASP area. This Plan will establish residential and open space land uses as well as vehicular and pedestrian connectivity that will enhance diversity, inclusivity, livability in the ASP area and compliment the development in the neighbouring areas.

The Brickyard at Old Town ASP identifies:

- The location, configuration and area of residential and open space land uses;
- The anticipated densities of residential development;
- The pattern and alignment of the collector roadways and pedestrian pathway or walkway systems;
- The required services and utilities; and
- The implementation and phasing of development.

1.2 Location

The Brickyard at Old Town occupies 65.61 ha (162.13 ac) which includes all portions of land within the existing Tiffany Greenfield ASP and a major portion of the Lakeview ASP. The ASP is located in the western sector of the Town of Stony Plain and comprises portions of lands within the NW ¼ of 25-52-1-5 and SW ¼ of 36-52-1-5 (**Figure - 1** Location Plan). The ASP area is defined by the following boundaries:

- West – Aspen Meadows ASP area;
- East – Heritage Estates and the Glens neighbourhoods, Glenn Hall Centennial Arena;
- North – proposed residential, commercial and open space/parks land uses in the northern portion of the Lakeview ASP area and south of CN rail; and
- South – future residential development in the Deerfield ASP.

1.3 Background

The lands within The Brickyard at Old Town ASP fall within the two previously planned area structure plans:

- Tiffany Greenfield ASP – created by Torus Engineering Consultants in April 2007 on behalf of the Tiffany Group; and
- Lakeview ASP – created in 2007 on behalf of 1240400 Alberta Ltd.

The Town of Stony Plain Council approved these two ASP's by Bylaw 2299 and 2287, respectively. At the time, the two projects were owned and operated by two separate ownership

groups. Subsequent to the two area structure plans being approved, market conditions changed and neither project was able to proceed to development. In 2011 and 2013 respectively, the Lakeview ASP lands and Tiffany Greenfield ASP lands were purchased by new ownership. Subsequent to the change in ownership, two phases of development in the north east portion of the ASP area have been approved by the Town of Stony Plain and constructed, with a third phase under construction in 2014. The Brickyard at Old Town's first residents started to move in during the summer of 2014.

The existing Area Structure Plans need significant updates as a result of many changes in circumstances, including and not limited to:

- new ownership of the subject lands;
- creation of the Capital Region Board and the Capital Region Growth Plan;
- changes in current and projected market conditions and consumer buyer preferences; and
- a newly approved Town of Stony Plain Municipal Development Plan.

Furthermore, with the two ASP areas now being managed by one entity, the plans can now benefit from being planned in conjunction with one another as an integrated, master planned development. The Brickyard at Old Town ASP serves to accomplish these goals by replacing the two pre-existing plans.

Following the approval of The Brickyard at Old Town ASP, the Tiffany Greenfield and Lakeview ASPs will be repealed.

The preparation of this ASP has been guided by the Town of Stony Plain's existing statutory plans and policies, including Uniquely Stony Plain Municipal Development Plan (MDP) 2013, Land Use Bylaw, and the Trail Master Plan. The proposed ASP is in compliance with the Capital Region Board's Growth Plan and is prepared in accordance with the requirements of the Municipal Government Act (MGA).

1.4 Land Ownership

The Plan area measures 65.61 ha (162.13 ac) and is presently owned by a number of private land owners. The northeast portion of this ASP is already developed in accordance with the Lakeview ASP. These individually owned residential parcels are not included in **Table 1: Land Ownership**. **Figure - 2 Ownership/Legal Plan** demonstrates the land ownership for the Plan area while **Figure – 2B Land Swap Area** demonstrates the land swap between the land owner and the Town.

Table 1: Land Ownership

Location	Owner	Area on Title
NW ¼ 25-52-1-5	1728313 Alberta Ltd	42.4 ha (105 ac)
Plan 902 3671, Lot 1	Old Town Development Corp.	18.01 ha (44.5 ac)
NW ¼ 25-52-1-5	Town of Stony Plain	0.4 ha (0.99 ac)
Part of SW/SE-36-52-1-5 (Title No. 962 024 290)	Private Owner	2.77 ha (2.32 ac)
Part of SW/SE-36-52-1-5 (Title No. 002 306 939)	Private Owner	0.368 ha (0.91 ac)
Plan 132 2808, Block 3, Lot 21	Private Owner	0.18 ha (0.44 ac)

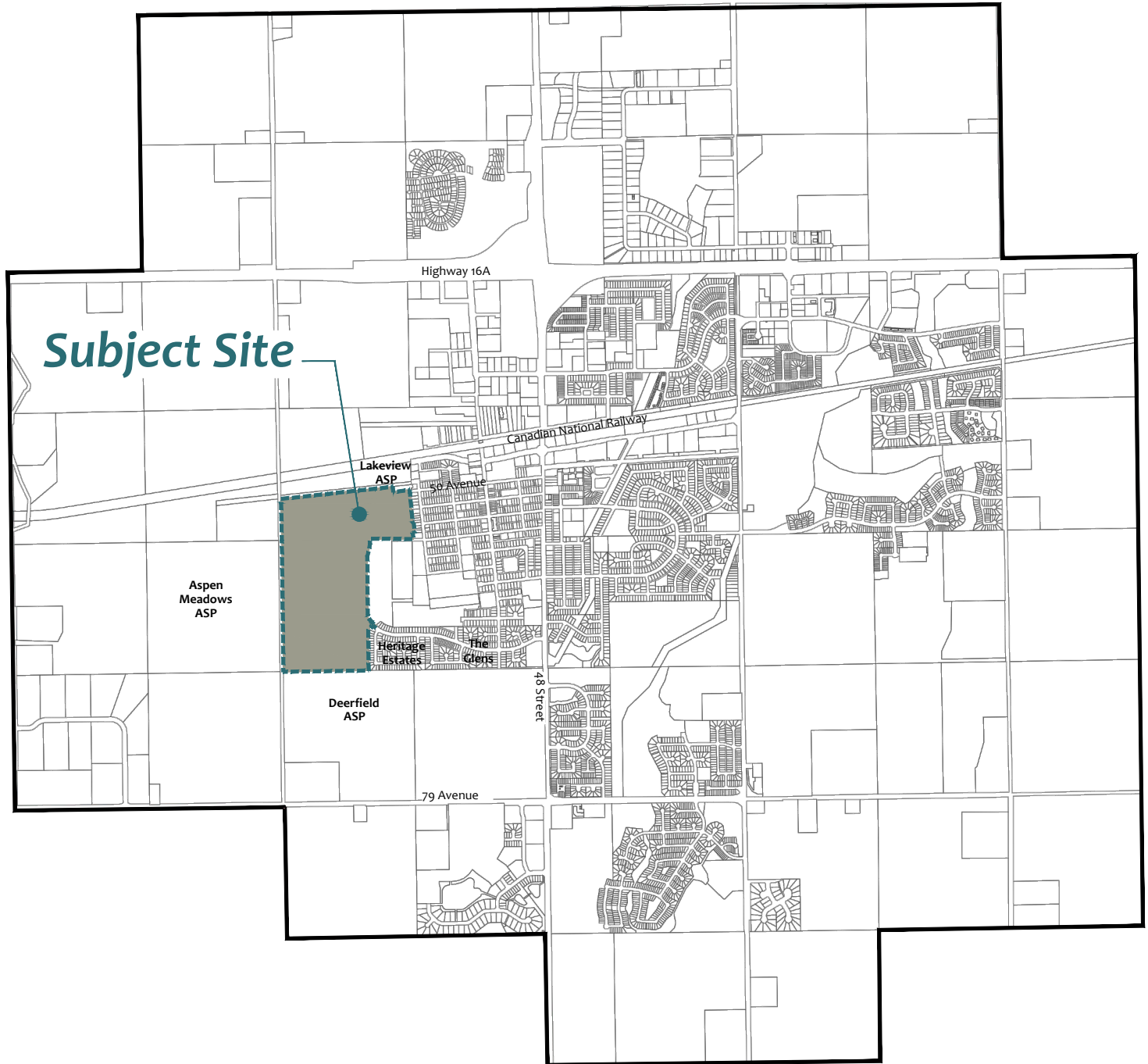
1.5 Public Consultation Summary

In preparation of The Brickyard at Old Town ASP, frequent meetings were held with the Town of Stony Plain to obtain their support and feedback on the proposed concept plan. Meetings were also held with the land owners within the Plan area prior to the public open house. These land owners were in support of the proposed concept plan and have no objections to the proposed plan.

A public open house was held on July 29, 2014 for the public to comment and review the proposed ASP. Overall the feedback received was positive in that the public was supportive of the potential for a senior's residence, the amount of trails and open space, the buffer between the existing adjacent neighbourhoods and the proposed development in the ASP area and the proximity to the downtown and the arena. Some of the concerns and considerations that the residents highlighted are as follows:

- traffic and safety concerns due to the increased traffic volumes along 57 Avenue and 53 Avenue;
- the integration of the new development with existing homes;
- the consideration of surrounding land uses; and
- the green space and trail network connections.

The feedback received from the adjacent land owners and the neighbouring residents was carefully considered and incorporated in the final draft of The Brickyard at Old Town concept plan.

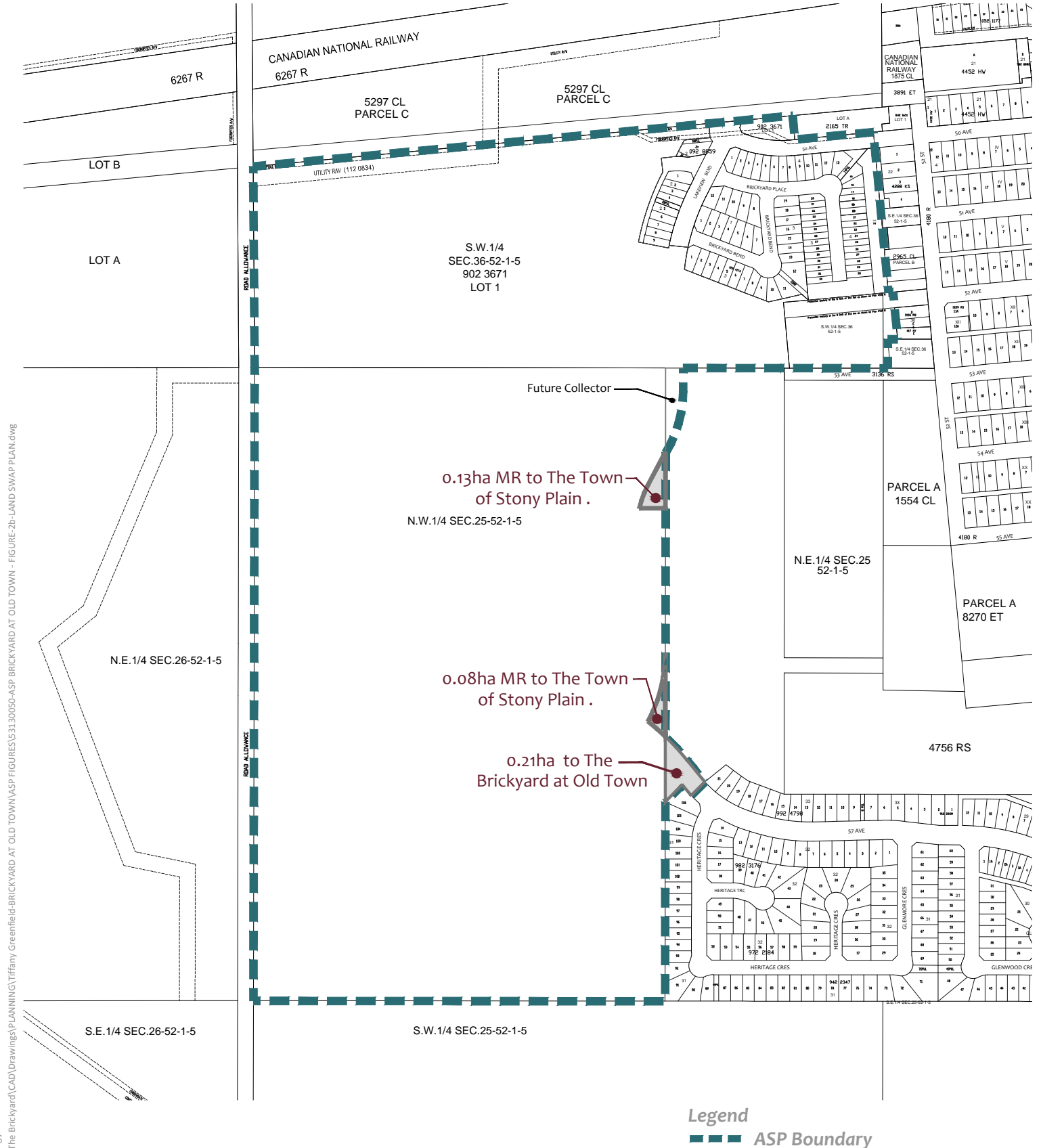






The Brickyard at Old Town

Area Structure Plan



MODIFIED DATE: 2014-07-07
S:\Projects\531.3005000 The Brickyard\Drawings\Planning\Tiffany Greenfield-Brickyard AT Old Town\ASP FIGURES\531.30050-ASP BRICKYARD AT OLD TOWN - FIGURE-2B-LAND SWAP PLAN.dwg



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#200, 10576 - 113 Street Edmonton, AB T5H 3H5

Figure - 2B Land Swap Area

2.0 STATUTORY COMPLIANCE

2.1 Municipal Government Act

The Municipal Government Act (MGA) enables municipalities to adopt Area Structure Plans to provide a framework for the future subdivision and development of land. According to Sections 633, 636, 638 and 692 of the MGA, an ASP must describe the sequence of development, land uses, population density and location of transportation routes and public utilities proposed for the ASP area. The MGA also provides interested members of the public and school boards the opportunity to participate in the planning process through the requirement that an ASP must be adopted by Bylaw and a public hearing must be held. Moreover, the MGA requires the ASP to conform to the Town of Stony Plain's statutory documents.

2.2 Capital Region Board

The Capital Region's Growth Plan identifies Priority Growth Areas (PGA) within the Capital Region to create a more compact regional footprint. For Stony Plain, there is a projected housing need of 935 housing units between 2010 and 2014, and 775 housing units between 2015 and 2019 (Capital Region Growth Plan Addendum, 2009). The projected need is based on three categories: non-market, market affordable and pure market.

The Town of Stony Plain has been identified as PGA A, with a density target range of 25-30 dwellings units/net residential hectare. The Brickyard at Old Town ASP has a net residential density of 25.9 units per net residential hectare, thereby achieving the required density range.

2.3 Uniquely Stony Plain Municipal Development Plan 2013 (Bylaw 2489/D&P/13)

The purpose of the Town of Stony Plain's Municipal Development Plan (MDP) is to promote a complete sustainable community. The MDP provides a vision, guiding principles and policy statements that are intended to guide future sustainable physical growth focusing on stability, transition, and new growth. The MDP identifies the community vision that has five themes: environmental responsibility, community development, economic opportunity, supportive infrastructure and responsive governance.

The MDP includes a growth pattern and target densities as well as policies for open spaces and new development. The future land use concept in the MDP identifies the ASP area as an *Area of New Residential Development*. This area is intended for a diversity of housing types (such as single-detached, semi-detached/duplex, modular homes, townhomes, apartments and other forms such as secondary suites or garage suites) for different households, income levels and lifestyles. The goal for new neighbourhoods is for them to be appropriately sized and focused

on a viable community centre that is easily accessible by biking and walking. The proposed ASP is in compliance with the MDP's vision and following policies for new neighbourhoods:

- A conceptual or an outline approach to planning of neighbourhoods, based on a section, rather than quarter-section, will provide for overall conformance of neighbourhood planning with planning principles for new neighbourhoods.
- New residential development should be based on neighbourhood design that is interconnected with the larger community.
- New neighbourhoods should be complete, resilient and able to adapt to change, with a mix of appropriate uses and a diversity of housing.
- New neighbourhoods should be supported by appropriate levels of services and amenities, such as parks, schools and trails.
- New development should include an integrated and connected system of natural features, open spaces, parks, corridors, trails and stormwater ponds.
- New areas should have their own exceptional character, sense of place and a functional, high-quality accessible public realm.

2.4 Land Use Bylaw (Bylaw 2355/LUO/08)

The lands within The Brickyard at Old Town ASP are currently zoned under the Town of Stony Plain's Land Use Bylaw 2355/LUO/08 as the following:

- R-1A Detached Residential
- R-1B Detached Residential
- R-1C Detached Narrow Lot Residential
- R-1D Detached Small Lot Residential
- R-2S Street-Oriented Medium Density Residential
- U-R Urban Reserve (Bylaw 2504/LUO/14)
- P-U Public Utility District (Bylaw 2504/LUO/14)
- P Public Parks and Recreation
- DC-2 Direct Control

These land use districts are in accordance with the previously approved Lakeview and Tiffany Greenfield ASPs. Undeveloped lands within The Brickyard at Old Town ASP will be redistricted as development proceeds; the new districts will be in conjunction with the intent of this ASP. The Brickyard at Old Town ASP and the proposed redistricting of undeveloped lands within this ASP to U-R will occur concurrently.

Section 15 of the Land Use Bylaw identifies railway noise attenuation and safety setbacks. These regulations are not applicable to the ASP area. However, for the lands north of the Plan area (SW 36-52-1-5 and Plan 5297CL, Parcel C) these regulations will need to be addressed.

The Brickyard at Old Town ASP proposes low, medium and high density residential development in the ASP area. Land use redistricting from U-R to suitable land uses will be required at the detailed planning stage.

2.5 Tiffany Greenfield Area Structure Plan 2007 (Bylaw 2299 to Be Repealed)

As discussed in Section 1.3, it is intended that the Tiffany Greenfield ASP will be repealed upon adoption of The Brickyard at Old Town ASP.

2.6 Lakeview Area Structure Plan 2007 (Bylaw 2287 to Be Repealed)

As discussed in Section 1.3, it is intended that the Lakeview ASP will be repealed upon adoption of The Brickyard at Old Town ASP.

2.7 West Glen Area Structure Plan 1982 (Bylaw 803 to Be Repealed)

Upon the approval of the Tiffany Greenfield ASP and Lakeview ASP, the West Glen ASP was not repealed. Therefore, West Glen ASP will be repealed upon adoption of The Brickyard at Old Town ASP.

2.8 Aspen Meadows Area Structure Plan 2009 (Bylaw 2357)

Adjacent to the western boundary of this ASP area is the approved Aspen Meadows Area Structure Plan (Bylaw 2357). The Aspen Meadows ASP offers a mix of residential uses, including large lot residential, low, medium and high density residential. This ASP also proposes institutional, mixed use urban village, and open spaces to support the residential uses. The proposed ASP will be a logical and contiguous extension of the Aspen Meadows ASP by providing low and medium density housing and open space network.

2.9 Deerfield Area Structure Plan 1983 (Bylaw 870)

South of this ASP area is the approved Deerfield Area Structure Plan (Bylaw 870). The Deerfield ASP offers commercial, mobile home parks, single family residential, multi-family residential, municipal reserve (MR), and storm water retention ponds. Should development be pursued in the Deerfield ASP area, it is likely that a new ASP will need to be created due to the age of this document. Currently, The Brickyard at Old Town ASP provides a logical and continuous extension to the Deerfield ASP by connecting with a major collector road and providing low and medium density housing and open space network.

2.10 Trail Master Plan 2005

The intent of Town of Stony Plain's Trail Master Plan is to create a comprehensive, interconnected recreational trail system to serve existing and newly developing areas within the Town. The aims of the Trail Master Plan are to:

- Promote trail development, wellness and increase quality of life;
- Support the idea of linked parks and open spaces;

- Advance the establishment of a distinctive regional trail system that encourages the conservation of natural and heritage resources;
- Integrate the regional trail system with other transportation systems and suggest links between existing and potential trails;
- Provide opportunities for multi-jurisdictional cooperation in all aspects of trail planning;
- Adopt trail construction standards that are environmentally sensitive, sustainable and have low impacts on the land; and
- Promote the use of trails as alternative transportation routes that connect activity centres, parks, open spaces, schools and civic amenities.

The Brickyard at Old Town ASP is in compliance with the Trails Master Plan by connecting the proposed trails with the existing Town trails and linking the trails to the proposed parks and open spaces.

3.0 PHYSICAL ENVIRONMENT

3.1 Topography

As described by *ParklandGEO* (2012 & 2013), The Brickyard at Old Town area consists of gently rolling terrain with elevations ranging from 706m to 714m. There are some natural low areas where the drainage slopes towards the northwest of the site and surface grades are less than 5%, with the exception of berm and stockpile locations to the west edge of the site (**Figure - 3 Contour Plan**).

3.2 Soil and Groundwater

A reconnaissance of the property was conducted in December 2012 in which soil samples were collected (ParklandGEO, 2012 & 2013). The samples revealed a soil profile consisting of clay fill, peat and native silty clay underlain with peat, marl or silty clay in the northern portion of the Plan area. In the western portion of the site, the soil profile consisted of peat and topsoil, underlain by intermittent layers of silt and sand, and silty clay. For the majority of the site, the soil profile consisted primarily of topsoil overlaying clay.

Groundwater levels were measured between January and February 2013 and were 0.98-6.25m below grade.

The Brickyard at Old Town ASP is in compliance with the geotechnical report and addresses all recommendations highlighted in the report.

3.3 Vegetation

Lands surrounding the Plan area are heavily treed and areas to the west feature significant peat formations. Within the Plan area there is a sparsely vegetated tree line separating the northern portion of the Tiffany Greenfield ASP and southern portion of the Lakeview ASP. There is also a sparsely vegetated tree area along the southern portion of the Plan area. A low lying slough area exists in the north central portion of the Plan area (ParklandGEO, 2013).

3.4 Environmental Site Assessment

According to the Phase I Environmental Site Assessment (ESA) undertaken by Soil and Environ. Consultant Inc. (2008); there was no current or previous environmental concern regarding land uses on or within close proximity to The Brickyard at Old Town Plan area. Additionally, there was no record of dangerous goods, chemical spills or incidences associated with the site in the past.

The ESA also revealed that there were no significant standing water features at the surface.



Legend
 --- ASP Boundary ➔ Direction of Lower Elevation

3.5 Historical Land Use

Prior to the adoption of the 2007 Tiffany Greenfield ASP, the site was zoned Urban Reserve (U-R). This land use is typically reserved for areas within the Town that are presently rural and will be used for urban purposes in the future.

Based on a review of historical land titles these lands were owned by farmers and/or were leased to farmers for wheat and other crop farming (Soil and Environ. Consultant Inc., 2008). The Phase 1 ESA confirms, through a review of historical aerial photographs, that the area was mainly used for agriculture and possible ranching since 1980.

3.6 Existing Land Uses

The existing land uses are in compliance with the existing Lakeview and Tiffany Greenfield ASP's. In conjunction with the approval of The Brickyard at Old Town ASP, all of the lands for future development will be rezoned to Urban Reserve (U-R).

3.7 Existing Utility and Pipelines

Utilities currently exist in the northeast portion of the Plan area where development has been initiated. This includes offsite work such as water, sanitary and storm pipes.

A pipeline right-of-way was registered in January 1963 within NW ¼ 25-52-1-5 as Plan 5358 MC; however, no pipeline was constructed within this right-of-way. A new right-of-way was registered in May 1963, southwest of the ASP area (Plan 5750 MC), which contains a condensate pipeline.

3.8 Surrounding Land Uses

Lands adjacent to the western and southern boundary of this ASP area are allocated as Urban Reserve (U-R). These lands will be planned in accordance with the Aspen Meadows and Deerfield ASPs respectively. Land Uses to the north of the ASP area include Street-Oriented Medium Density Residential (R-2S), High Density Low Rise Residential (R-3), Public Parks and Recreation (P), General Commercial (C-G), Neighbourhood Commercial (C-N), and Rural Residential (R-1R). The land uses proposed in The Brickyard at Old Town ASP will support the existing land uses to the northeast portion of the Plan area. To the eastern boundary of the ASP are Detached Residential (R-1A and R-1B), Public Parks and Recreation (P), and Urban Services (U-S).

3.9 Existing access

A Traffic Impact Assessment (TIA) was undertaken by Genivar Inc. (Genivar) in 2012 for the proposed residential development in the Lakeview ASP area. This TIA also took into consideration the development proposed in the Tiffany Greenfield ASP area. As per the TIA,

the entire development will be served by three access points. This includes one access to the north connecting to the future 49 Avenue west extension, one access to the east connecting with 50 Avenue, and one access to the south connecting with the future alignment of 57 Avenue. It is anticipated that 50% of the site generated traffic will travel from/to 49 Avenue in the future. However, 50 Avenue will be used as the primary vehicular access in the period before 49 Avenue west extension is constructed.

A temporary emergency access will be provided along 53 Avenue as per The Brickyard Phase 3 subdivision comments (dated February 19, 2014). There is potential for this to become a permanent access to the Plan area.

4.0 LAND USE CONCEPT

The following sections provide a description of land uses contained within The Brickyard at Old Town ASP area and are illustrated in **Figure - 4** Land Use Concept Plan. The land uses identified below encompass the various residential types and densities as well as the parks, open spaces and stormwater management facilities. The plan has been developed to serve as a primarily residential development which complements the development in the surrounding neighbourhoods.

Figure - 4 Land Use Concept also includes a shadow plan for the property immediately north of the Plan area (SW 36-52-1-5 and Plan 5297CL, Parcel C). Land uses identified for these lands have been conceptually identified and are subject to change. These lands are adjacent to the Canadian National Railway (CN); therefore, the Town of Stony Plain's and CN's regulations, including Railway Noise and Safety setbacks, may be applicable to the development within this area.

4.1 Residential Land Use

The ASP has been prepared in response to current and anticipated residential market demand in the Town of Stony Plain. The majority of the neighbourhood is planned for residential uses. The Plan makes provisions for a range of dwelling types which permit a choice of accommodations for the neighbourhood's future residents. When completely developed, the neighbourhood will contain approximately 1,045 housing units at a density of 25.9 units per net residential hectare.

4.1.1 Low Density Residential

The most prevalent residential type will be low density residential, comprising approximately 62% of the total housing units within the Plan area. These dwellings will be dispersed throughout the neighbourhood and are intended to have a mix of single detached and semi-detached housing types, including but not limited to double and single car garages, bungalows and two storey homes. This mix will provide a range of housing choices to prospective residents.



Scale 1:6,000

The Brickyard at Old Town

Area Structure Plan



- Land outside the ASP area and not owned by the proponent of this ASP
- Land inside the ASP area and not owned by the proponent of this ASP

Legend

- ASP Boundary
- High Density Residential
- Low Density Residential
- Medium Density Residential
- Park/Open Space
- PUL
- PUL (SWMF)
- Proposed Collector
- Proposed Minor Collector

Please Note: Minor changes to collector road alignment are possible based on detailed design.

MODIFIED DATE: 2014-10-06

S:\Projects\5313005000 The Brickyard\Drawings\PLANNING\Tiffany Greenfield-Brickyard AT OLD TOWN\ASP FIGURES\53130050-ASP BRICKYARD AT OLD TOWN - FIGURE-4 LAND USE CONCEPT PLAN.dwg



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Figure - 4 Land Use Concept Plan

4.1.2 Medium Density Residential

The medium density residential housing forms encompass 14% of the total housing units. These units will generally be located near the high density residential units to provide a transition between high density and low density residential homes. Medium density housing forms are intended to include duplexes and row houses in order to provide housing opportunities for a range of family incomes and housing preferences, such as the first time purchaser, moderate move-up buyers, and households that are downsizing.

4.1.3 High Density Residential

The high density residential housing forms account for 25% of the total housing units and incorporate uses such as apartment buildings, fourplexes, stacked row houses, and adult care residences. These units will have a maximum height of 4 storeys and are located along collector roads for ease of access and to accommodate the associated higher traffic volumes. Two sites will be centrally located within the neighbourhood, with easy access to pedestrian connections and green space as well as the Town's recreation and sports facilities to the east. The third site is located in the southwest portion of the neighbourhood.

4.2 Parks and Open Spaces

The parks and open spaces areas include trails and recreational facilities to meet the active and passive recreational needs of the local residents. The Brickyard at Old Town Land Use Concept Plan provides 9% of the Gross Developable Area (GDA) as the MR dedication within the plan area. The remaining MR (1%) will be integrated into existing parks and open spaces or provided as cash-in-lieu. The parks and open spaces will be used for passive and active recreational needs, and will be easily accessible for all residents to enjoy.

One park space is located in the northwest portion of the neighbourhood. This park space is combined with a stormwater management facility, which is located in the western portion of the park area. This park is highly accessible to many residents within the neighbourhood as well as for those in surrounding neighbourhoods. To ensure the safety and visibility in this space, a number of residential lots have been created which back onto the park space. These lots will offer natural surveillance for the park space. A playground will also be included in this space to serve the needs of young families.

A second park is located in the southern portion of the neighbourhood. This park is accessible via the southern, east-west multi-use trail, with one pedestrian crossing across the minor collector to increase pedestrian safety.

There is a stand-alone stormwater management facility which is centrally located within the north portion of the ASP. This stormwater management facility will have a pedestrian trail which wraps around the western portion of the stormwater management facility, starting from the

northwest corner to the southeast corner. Sitting areas will be provided near the entrances to the stormwater management facility, at the northwest corner and southeast corner.

Multi-use trails and pedestrian linkages have been provided throughout the neighbourhood to serve the active and passive recreational needs of the residents. The trails and linkages connect residents to internal site features such as park spaces, open spaces and stormwater management facilities. Connections have also been provided to external destinations such as the downtown core, nearby recreational and sport facilities, and future developments to the north, south and west of the plan area. Sidewalks will be located along all major and minor collector roads and all local roads. This extensive network of sidewalks will enhance the walkability of the Plan area and enhance pedestrian safety. These will be constructed to the standards set out in the Town of Stony Plain Municipal Design Standards.

4.3 Transportation

The following sections provide a description of the transportation and circulation network contained within The Brickyard at Old Town ASP area and are illustrated in **Figure - 5** Road Network Plan. All roads proposed with The Brickyard at Old Town ASP are to be constructed in accordance with the Town of Stony Plain specifications.

4.3.1 Circulation System

The main collector (Brickyard Drive) connects the ASP area to future development in the Aspen Meadows ASP, 50 Avenue and the future 49 Avenue (arterial). Access to the north, connecting to the future 49 Avenue west extension, is estimated to be constructed by 2027. A second collector road (57 Avenue) connects the ASP area to the Heritage Estates Neighbourhood. The third road is a minor collector which will connect the ASP area to future developments that would be developed to the south of the Plan area (Deerfield ASP). Overall, the three collectors disburse vehicular traffic over several roadways by providing multiple movement options in and out of the neighbourhood.

The local roadway system will be identified at the subdivision stage. This system will be designed to discourage outside traffic from shortcutting through the neighbourhood by using the local roads.

A portion of housing within The Brickyard at Old Town ASP is street oriented housing; which means that the front facades, main entryway and living space of the dwellings are oriented towards and have direct access to a fronting public roadway. Garages for these dwellings will be accessed via lanes at the rear of the lot. These lots, with rear accessed garages, will encourage an active visual connection between the streets and the dwellings, therefore enhancing natural surveillance, and sense of community by providing opportunities for neighbourly social interaction.



4.3.2 Public Transit

The Plan area is designed to accommodate future plans to introduce public transit. The Brickyard at Old Town ASP will accommodate future public transit routes along the collector roads. Pedestrian access to public transit will be maximized through the orientation of local street and walkway design at the subdivision stage.

4.3.3 Pedestrian System

An integrated system of multi-use trails, a pedestrian linkage and separate walkway connections make up the pedestrian system within The Brickyard at Old Town ASP (**Figure - 6** Pedestrian Connection Plan and **Appendix B: Sample Road Cross-Sections**). There is a large pedestrian loop provided to accommodate the active and passive recreational needs of the local residents. The pedestrian linkage provided, running north-south, is intended to guide pedestrians and cyclists through the centre of the site to avoid the main collector (Brickyard Boulevard) to ensure pedestrian and cyclist safety.

Overall, this system connects the residents to internal and external amenities including park spaces; playgrounds; stormwater management facilities; Glenn Hall Centennial Arena; rotary spray park; swimming pool; sports fields; downtown Stony Plain, school sites; Aspen Meadows mixed use urban village; Aspen Meadows Trail network; Multicultural Heritage Centre; P.E.R.C Building; and Oppertshauser Gallery.



Legend

--- ASP Boundary

■ Existing Collector

■ Proposed Collector

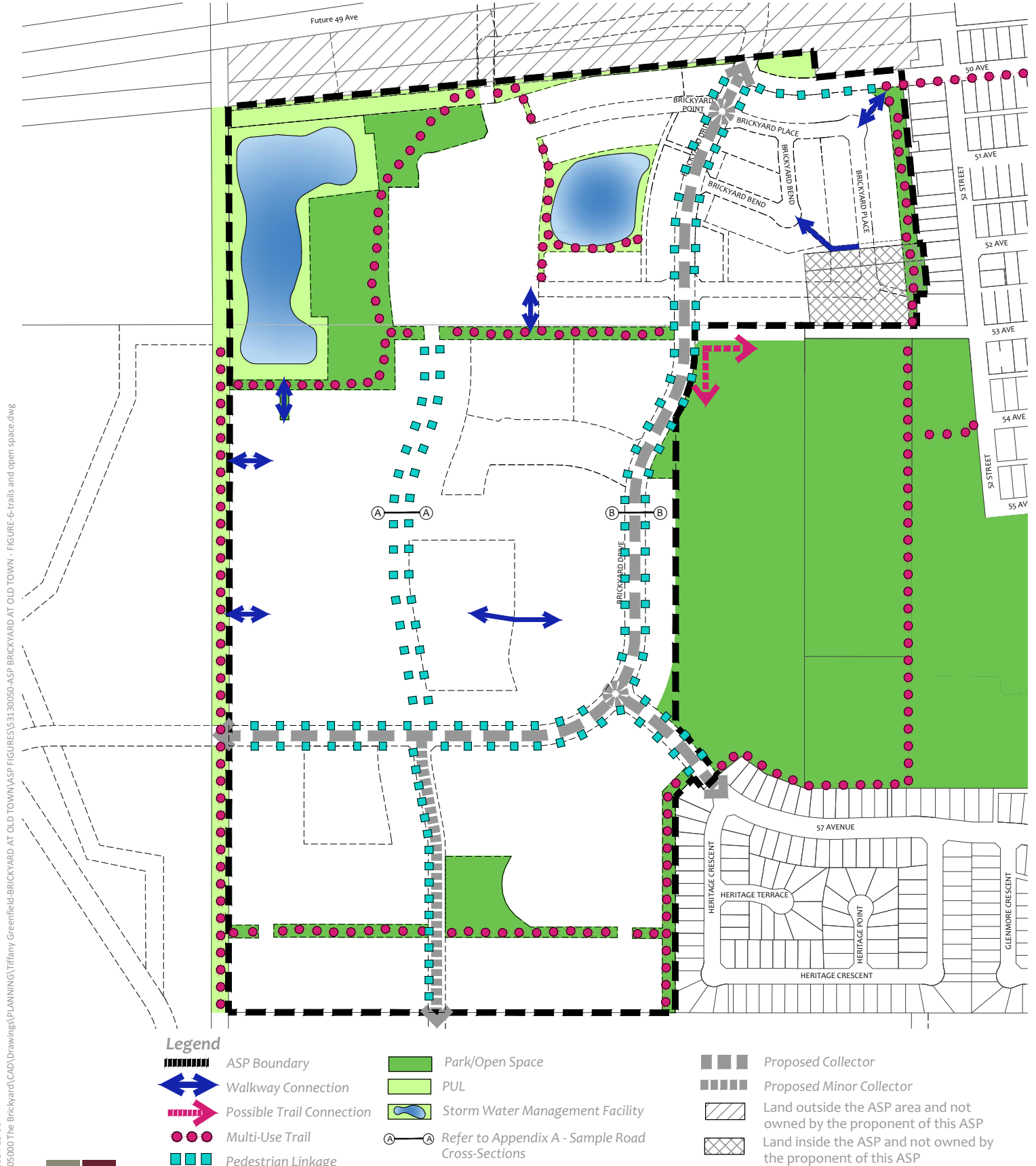
■ Proposed Minor Collector



Scale 1:6,000

The Brickyard at Old Town

Area Structure Plan



MODIFIED DATE: 2014-10-06
S:\Projects\5313005000 The Brickyard\Drawings\Planning\Tiffany Greenfield-BRICKYARD AT OLD TOWN\ASP FIGURES\53130050-ASP BRICKYARD AT OLD TOWN - FIGURE-6-trails and open space.dwg



MMM GROUP
#200, 10576 - 113 Street Edmonton, AB T5H 3H5

Figure - 6 Pedestrian Connection Plan

4.4 Engineering Services and Utilities

This section outlines the provision of municipal and utility services to The Brickyard at Old Town ASP including storm drainage, sanitary, water servicing, and shallow utilities. More detailed information regarding these services can be obtained from the Neighbourhood Design Report (NDR) and Hydraulic Network Analysis (HNA) for The Brickyard at Old Town ASP which have been submitted as stand-alone documents.

4.4.1 Storm Drainage

Figure - 7 Storm outlines the storm drainage concept for The Brickyard at Old Town ASP. As shown, there are two stormwater management facilities in the northern portion of the Plan area. Both of these facilities will be constructed wetlands. The facilities will use a naturalized concept to reduce maintenance and to improve the aesthetics of the facility and the surrounding area. The ponds are designed for storage of storm water and provide two key functions. The first is to provide primary treatment to the storm water and the second is to allow for the capability to control the outfall rates. These stormwater management facilities will have naturalized vegetation to assist with the quality of water that runs into downstream natural waterbodies.

4.4.2 Sanitary

The sanitary system should be constructed in accordance with the Town of Stony Plain's standards. The entire system will function through gravity and as an extension to the existing sanitary sewer in The Brickyard at Old Town (as per **Figure - 8 Sanitary Plan**).

4.4.3 Water servicing

Water servicing will be designed and constructed using conventional methods for providing peak hour demands and adequate fire flows for low and high density developments.

A HNA will be submitted to EPCOR for review and approval. Water service will be provided by two 300mm connections, one along Brickyard Drive and the second along 57 Avenue. A number of 250mm and 300mm connections currently exist within the developed portion of the neighbourhood (as per **Figure - 9 Water Distribution**).

4.4.4 Shallow Utilities

The existing development, within the northeast portion of the ASP is served by power, gas and telecommunications services. These shallow utility services will be extended into the ASP area.



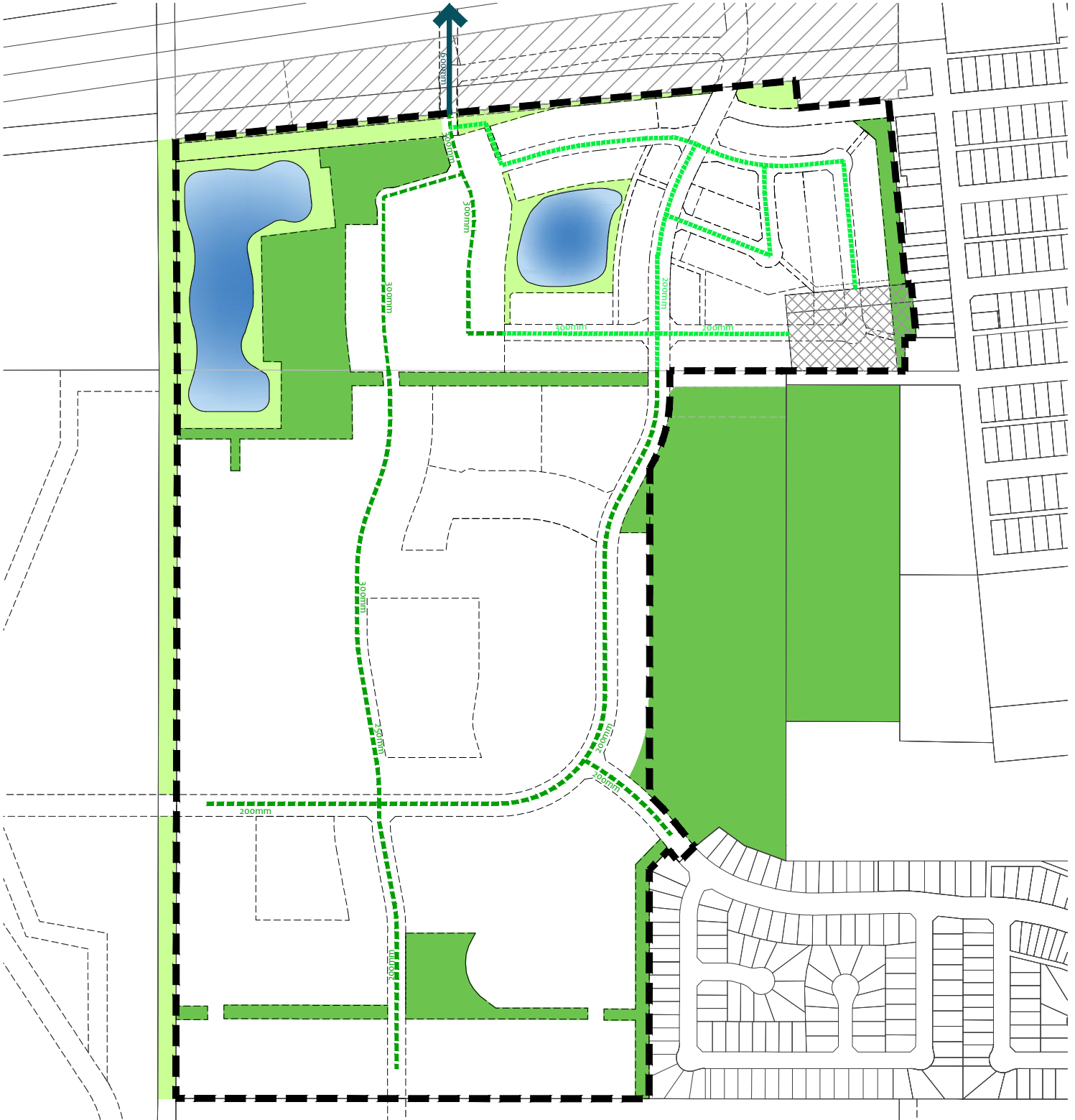
Legend

■■■■ ASP Boundary

 Stormwater Management Facility

 Direction of Flow





Legend

- ■ ■ ASP Boundary
- ■ ■ Proposed Sanitary Sewer
- Existing Sanitary Sewer
- Existing Sanitary Sewer



Legend

■■■■ ASP Boundary ——— Proposed Watermain - - - Existing Watermain

4.5 Land Use Statistics

Table 2: Land Use Statistics outlines the land use statistics of The Brickyard at Old Town ASP. Land use allocations and statistics provide a picture of the balance of land uses required and recommended to create a quality residential living environment. The proposed population for the Plan area is 3,025 in approximately 1,045 dwelling units.

Table 2: Land Use Statistics

	Area (ha)	Area (ac)	% of GDA
Gross Area	65.61	162.13	
Gross Developable Area (GDA)	65.61	162.13	100%
Residential Land Uses			
Low Density Residential	34.53	81.17	52.6%
Medium Density Residential	2.45	10.21	3.7%
High Density Residential	3.33	8.23	5.1%
Total Residential Land Uses	40.31	99.61	61.4%
Non-Residential Land Uses			
Parks/Open Space (MR) ¹	5.83	14.0	9.0%
Stormwater Management Facilities (SWMF)	5.09	12.58	7.8%
Public Utility Areas (PUL)	1.18	2.92	1.8%
Circulation (20% of GDA)			
Collector/Minor Collector Roads	3.93	9.71	6.0%
Local Roads/Walkways & Lanes	9.19	22.71	14.0%
Total Non-Residential Land Uses	25.22	61.92	38.4%
Net Area	40.39	100.21	

*Net Area is the GDA minus MR, SWMF and Circulation.

¹The remaining MR (1%) will be integrated into existing parks and open spaces or provided as cash-in-lieu.

Residential Land Use Analysis

	Area (ha)	Density Units/Ha	Units	Persons/ Per Unit	Population
Proposed Number of Units					
High Density	3.33	80	266	2	532
Medium Density	2.45	36	88	3.2	282
Low Density	34.53	20	691	3.2	2,211
Total	40.31		1,045		3,025

*The Brickyard at Old Town has a density units per hectare of 25.9 units / ha

	Proportion of Students per grade	Potential Students
K-6	55%	349
Public System		227
Catholic System		122
7-9	22.5%	144
Public System		94
Catholic System		50
10-12	22.5%	144
Public System		94
Catholic System		50
Total	100%	637

Assumptions

Number of Students / unit	0.61
Number of units	1,045
Number of students	637
Proportion of Students in Public System	65%
Proportion of Students in Catholic System	35%

5.0 DEVELOPMENT PRINCIPLES

The Brickyard at Old Town ASP will promote and encourage a diverse, inclusive, walkable and sustainable community. This ASP supports the five themes on which the vision of The Town's MDP is based on; which include:

- Environmental responsibility;
- Community development;
- Economic opportunity;
- Supporting infrastructure; and
- Responsible governance.

The following sections (5.1.1 to 5.1.5) describe how The Brickyard at Old Town ASP complies with the policies identified in the Town's MDP.

5.1.1 Environmental Responsibility

MDP Policy	The Brickyard at Old Town Principles
1.1.c. Land use plans, regulations and incentive programs should enable and encourage environmental innovation. This includes promoting structures that are constructed using energy-efficient design and construction practices and environmentally friendly materials.	➤ Incorporation of energy efficient homes; design techniques; reduced building material waste; water conservation technology; and orientation of windows to maximize solar gain are strongly encouraged in the Plan area.
1.1.d. The Town will encourage innovative approaches to development and operations that effectively reduce the amount of greenhouse gas emissions and provide cleaner air.	<ul style="list-style-type: none"> ➤ The Brickyard at Old Town ASP incorporates a number of pedestrian and cycling trails which encourage the use of active modes of transportation and help reduce greenhouse gas emissions. ➤ Native planting and landscaping is encouraged in open spaces and boulevards.
1.3.a. The Town recognizes the importance of managing waste in an innovative and sustainable manner; therefore, it will promote reduction, reuse and recycling in private- and public-sector operations.	<ul style="list-style-type: none"> ➤ The Brickyard at Old Town ASP encourages the containment of residential waste in containers provided by the Town. ➤ For the high density land uses, it is encouraged that the owner contacts the Town or a private contractors to facilitate the waste pick-up.

MDP Policy	The Brickyard at Old Town Principles
1.3.b. The Town will promote the reduction of waste in the construction process and encourage the use of recycled materials or eco-certified materials for new developments and redevelopment.	➤ The Brickyard at Old Town ASP encourages home builders to reduce the amount of waste produced during the construction process. Use of recycled materials or eco-certified materials is also strongly encouraged.
1.5.c. The Town will encourage community food gardens by offering leasable allotments on select municipal reserve lands and allow for small-scale agricultural operations that are compatible with an urban built environment and existing land uses within the Town's boundaries.	➤ The Plan area contains a number of park spaces which have the potential to be used for community food gardens. Organizations such as community leagues, non-profit societies, residents associations or faith groups are often willing to administer community gardens, likely with minimal support from Community Services.

5.1.2 Community Development

MDP Policy	The Brickyard at Old Town Principles
2.2.a. Areas for transformation could include underutilized land near, and connected to, the core area, with special opportunities, including proximity to key institutional and commercial areas and connecting corridors	<p>➤ The Plan area is suitable for transforming underused farm land into a residential community. The Plan area is located in close proximity to the downtown, and existing and future residential developments. In addition, a number of community amenities are located immediately east of the ASP area including, but not limited to arenas, outdoor rinks, sports fields, spray parks and swimming pools. Therefore this ASP area is suitable for a new neighbourhood.</p> <p>➤ The Brickyard at Old Town ASP improves the feasibility of the Town's currently proposed multiuse recreation facility planned for the vacant land directly to the east of the Plan area.</p>
2.3.b. New residential development should be based on neighbourhood design that is interconnected with the larger community.	➤ The Plan area is designed to complement and connect with the adjacent residential developments via vehicular and pedestrian linkages.

MDP Policy	The Brickyard at Old Town Principles
<p>2.3.c. New neighbourhoods should be complete, resilient and able to adapt to change, with a mix of appropriate uses and a diversity of housing.</p>	<ul style="list-style-type: none"> ➤ The Brickyard at Old Town ASP offers a mix of housing types, densities and lot sizes. The mix of housing provided accommodates a range of household incomes, lifestyles; from the first time home buyer, to downsizing households. ➤ Low density residential developments are located throughout the Plan area. This development offers a range of lot widths and sizes that compliments the Heritage Estates neighbourhood. ➤ Medium density developments are centrally located within the neighbourhood as well as in the northeast corner. This development will provide an appropriate transition between the high and low density residential developments. ➤ High density developments are located along the collector road within close proximity to public amenities for convenient access for the residents (Figure - 4 Land Use Concept Plan).
<p>2.3.d. New neighbourhoods should be supported by appropriate levels of services and amenities, such as parks, schools and trails.</p>	<ul style="list-style-type: none"> ➤ The Brickyard at Old Town ASP area is located within close proximity to the downtown Stony Plain thereby offering nearby services for the residents of the ASP area. ➤ The Brickyard at Old Town ASP will add more households within proximity to downtown to further strengthen its viability and support this important and unique destination shopping area. ➤ Open space, parks, sidewalks and trail linkages are incorporated within the ASP area and will connect residents to surrounding amenities. ➤ The ASP supports and compliments the park spaces and schools within the neighbouring areas.

MDP Policy	The Brickyard at Old Town Principles
<p>2.3.e. New development should include an integrated and connected system of natural features, open spaces, parks, corridors, trails and stormwater ponds.</p>	<ul style="list-style-type: none"> ➤ The Brickyard at Old Town ASP provides various opportunities for residents to participate in active and passive recreation. The key areas within the neighbourhood for such activities are the park spaces located in northwest and south portions of the ASP, as well as the trails, walkways and green space connections located throughout the neighbourhood. ➤ Parks, open spaces, and community amenities with the ASP area and adjacent neighbourhoods are well connected by pedestrian and vehicular networks (Figure - 5 Road Network Plan & Figure - 6 Pedestrian Connection Plan).
<p>2.3.f. New areas should have their own exceptional character, sense of place and a functional, high-quality accessible public realm.</p>	<ul style="list-style-type: none"> ➤ The Brickyard at Old Town ASP will contribute to community livability by having a master planned community which enhances the quality of the community. Features that will enhance the community include architectural controls, and separate sidewalks which contribute to the pedestrian friendliness of the neighbourhood. Home builders will be encouraged to incorporate high standard building and architectural styles to enhance the Town's heritage theme, small town character and promote a unique and attractive character. ➤ Sense of community will be encouraged through a series of community parks and open spaces linked together via pedestrian linkages, as well as through the use of street-oriented dwellings.

MDP Policy	The Brickyard at Old Town Principles
<p>2.5.b. The leisure system will foster a diverse range of active and passive sports and recreation options for people at all ages and stages of life. Winter recreation activities, such as skating, curling and cross-country skiing, will be considered equally with activities for the other seasons.</p>	<p>➤ The Brickyard at Old Town ASP includes a number of park and trail spaces which connect residents to the park and recreational sites located immediately to the east of the Plan area; which contains an indoor and outdoor arena, sports fields, swimming pool, playground, spray park and two school sites. There are natural areas to the west of the Plan area. These public and natural amenities are well connected to The Brickyard at Old Town ASP by vehicular and pedestrian linkages and multi-use trail network.</p>
<p>2.5.c. Parks and open spaces will meet local needs through a hierarchy of dispersed parks, according to their varying recreational purposes and corresponding sizes.</p>	<p>➤ Within and surrounding The Brickyard at Old Town ASP there is a three-tier parks and open space system to accommodate various recreational needs. These parks, open spaces, and stormwater management facilities are disbursed throughout the neighbourhood for easy access to all residents.</p>
<p>2.5.f. At the time of subdivision, the Town will require dedication of at least 10% municipal reserve in residential areas. In other areas, such as the industrial districts, the Town may take cash-in-lieu or a combination of municipal reserve and cash-in-lieu.</p>	<p>➤ Figure - 4 Land Use Concept Plan allocates 9% of the Gross Developable Area as MR (Table 2: Land Use Statistics). The remaining MR (1%) will be integrated into proposed parks and open spaces or provided as cash-in-lieu at the time of subdivision, in accordance with the Municipal Government Act.</p>
<p>2.5.g. The location of municipal reserves will be guided by optimum siting for schools and recreation purposes and not the location of stormwater management facilities or other constrained lands, such as pipelines or utility areas.</p>	<p>➤ Public and Separate school boards were consulted and it was determined that new school sites were not required in the ASP area. All the MR provided in the ASP area is in the form of parks and open spaces.</p>

5.1.3 Economic Opportunity

MDP Policy	The Brickyard at Old Town Principles
3.1.a. The Town will support expansion and diversification of the economic base by allocating sufficient land for commercial and other employment land uses, including home-based businesses.	<ul style="list-style-type: none"> ➤ The Brickyard at Old Town ASP supports the inclusion of home-based businesses in all residential developments. ➤ No commercial or employment land uses are allocated within the ASP area based on a thorough analysis of market demand. Development within the ASP area will support existing commercial and businesses establishments in nearby downtown Stony Plain.
3.3.a. The Town will continue to develop Old Town as a niche regional destination, based on its unique identity, small-scale commercial experience and local events.	<ul style="list-style-type: none"> ➤ The Brickyard at Old Town ASP will support the downtown core by not offering competing land uses such as big box stores or strip malls. The development mainly consists of residential land uses and is located southwest of the downtown core. ➤ Vehicular and pedestrian connections will be provided to the downtown core from the ASP area.

5.1.4 Supportive Infrastructure

MDP Policy	The Brickyard at Old Town Principles
4.1.a. The Town will design a transportation system that is based on a philosophy of an interconnected system of 'complete streets' which integrates and serves all users — including drivers, transit users, bicyclists, rollerbladers and pedestrians — and those who use scooters, wheelchairs and strollers.	<ul style="list-style-type: none"> ➤ This ASP provides opportunities for the internal pedestrian linkages to connect with the Town's current trail system and communal amenities. ➤ The road network follows the hierarchy of the roadway system. Road cross-sections follow and exceed the Town's engineering standards for road design.

MDP Policy	The Brickyard at Old Town Principles
4.1.b. The Town will place a high priority on bicycle facilities, sidewalks and other footpaths for all-season access, maintenance and snow clearing.	➤ The Brickyard at Old Town ASP provides various opportunities for residents to walk and cycle. The key locations are separated sidewalks along collector roads, mono-walks along local roads, and a pedestrian trail along the north-south local road through the ASP area; all of which connect residents to park spaces (Figure - 6 Pedestrian Connection Plan). These areas will be maintained throughout the seasons to ensure usability year around.
4.2.a. The Town will create a walkable environment by enhancing streets to be more pedestrian- and age-friendly for all users, through planning and design, by developing a sidewalk and trail infrastructure strategy and by managing traffic.	➤ The Brickyard at Old Town ASP is a walkable neighbourhood for residents of all ages. The Plan provides sidewalks along collector and local roads and multi-use trails to connect residents to park spaces, downtown and other amenities.
4.2.b. The Town will provide the foundation for a bicycle-friendly community, where people feel safe and comfortable riding their bikes for fun, fitness and transportation.	➤ The Brickyard at Old Town ASP is a cyclist friendly neighbourhood. The Plan provides multi-use trails and pathway connections to meet the active and passive recreation needs of the residents. ➤ Traffic control measures for safe and pedestrian friendly streets will be under taken in accordance with the recommendation of the TIA.
4.3.b. To prepare for the future transit development of local transit service, the Town will explore possible bus stop locations and facilities and encourage intensification in the downtown, along main corridors and potential future transit routes.	➤ The Brickyard at Old Town ASP supports the development of a local transit service by providing safe and easy sidewalk access for residents to collector roads which can accommodate public transit at such time as the Town deems it appropriate to introduce this service. ➤ Public amenities, parks and high density sites are located along collector roads, allowing residents easy access to future public transit routes.
4.5.b. The Town will use a balanced approach, using low-impact development principles in the management of stormwater, by encouraging and supporting measures and activities that reduce stormwater runoff, improve water quality, promote evapotranspiration (the return of water from the earth's surface back to the atmosphere) and infiltration and reduce erosion	➤ The stormwater management facilities with the Plan area are designed to serve two key functions. The first is to provide primary treatment to the storm water and the second is to allow for the capability to control the outfall rates. These stormwater management facilities will have naturalized vegetation to assist with the quality of water that runs into natural waterbodies.

MDP Policy	The Brickyard at Old Town Principles
4.5.c. The design of stormwater management facilities will enhance the natural function and visual landscape.	➤ The stormwater management facilities will be designed as constructed wetlands and include vegetation to improve the water quality and allow particles to settle; and controlled discharge rates to ensure the efficiency of the facilities. The design of these facilities will enhance the natural function and visual landscape of the ASP.
4.5.d. The Town will only allow new development to proceed if each lot or dwelling is connected to municipal water supply and sanitary collection systems, except for single isolated lots in the Future Urban Development area, where there is evidence that municipal water and sewer connections are unavailable.	➤ Development within the Plan area will be served by municipal servicing including water, sanitary and stormwater (Figure - 7 Storm Water Plan, Figure - 8 Sanitary Plan & Figure - 9 Water Distribution). ➤ The Brickyard at Old Town ASP will connect to the municipal water supply and sanitary collection systems that have been developed in the northeast portion of the plan area and within the Heritage Estates neighbourhood (Figure - 8 Sanitary Plan & Figure - 9 Water Distribution).
4.5.e. The Town will require joint-use of utility pipeline corridors, transportation corridors, transmission lines and other utility rights-of-way and structures of a compatible nature to minimize adverse visual, environmental or safety impacts and fragmentation of properties, unless the developer or applicant can prove that such co-location is impossible or unsafe.	➤ As shown in Figure - 7 Storm Water Plan, Figure - 8 Sanitary Plan, & Figure - 9 Water Distribution , all municipal services and shallow utilities will be accommodated within the road rights-of-way and public utility lots.

5.1.5 Responsible Governance

MDP Policy	The Brickyard at Old Town Principles
5.3.a. So that all interests can be addressed in decision-making, the Town will provide a variety of engagement processes, both formal and informal, to reach representation from everyone in the community, including residents, businesses and the development industry.	➤ An open house was held on July 29, 2014 for The Brickyard at Old Town ASP. See Section 1.5 Public Consultation Summary.

In addition to the above MDP policies, the Brickyard at Old Town ASP also complies with the following land use and growth management policies as set out in the MDP.

MDP Land Use Policy	The Brickyard at Old Town Principles
<p>6.1.a. The Town will allow a range of uses to ensure a complete and balanced community to meet the challenges of growth in a sustainable manner and promote diverse residential development and associated home-based businesses, including.</p> <ul style="list-style-type: none"> • A range of seniors housing, with preferred locations within easy walking distance of shopping, medical services and other amenities 	<ul style="list-style-type: none"> ➤ The Brickyard at Old Town ASP includes housing forms such as single detached, semi-detached, row houses, apartments up to four storeys, and senior housing. ➤ The ASP supports the inclusion of home-based businesses in all residential developments. ➤ Although a predominantly residential neighbourhood, the ASP comprises park spaces, stormwater management facilities and pedestrian friendly trail networks. ➤ The ASP is well connected to and supports the downtown core and community amenities. Such amenities include an arena, outdoor rink, sport fields, spray park and swimming pool outside the Plan area.
<p>6.1.b. The Town will adhere to the land use pattern as shown in Figure 3: Future Land Use (page 53).</p>	<ul style="list-style-type: none"> ➤ This ASP complies with the Future Land Use pattern set out in the Town of Stony Plain MDP.
<p>6.1.c. The Town will promote adjacent development so that infrastructure will be extended in a logical and efficient manner.</p>	<ul style="list-style-type: none"> ➤ The ASP is located within close proximity to existing developments, such as the Heritage Estates neighbourhood, the downtown, and the existing development in the northeast portion of the Plan area. This offers a number of opportunities to extend existing infrastructure into the ASP area.
<p>6.1.d. The Town will require residential development to conform to the density targets established by the CRB.</p>	<ul style="list-style-type: none"> ➤ The Brickyard at Old Town ASP has a net residential density of 25.9 units/net residential hectare which meets the CRB's density target.
<p>6.1.h. In accordance with all applicable Provincial Acts and Regulations, the Town may require an environmental site assessment to be conducted in support of rezoning, subdivision or development applications.</p>	<ul style="list-style-type: none"> ➤ A Phase 1 Environmental Site Assessment was conducted for this ASP by Soil Environ. Consultant Inc. in 2008.
<p>6.2.e. The Town will require that future parks and trails be designated during the neighbourhood planning process.</p>	<ul style="list-style-type: none"> ➤ The Brickyard at Old Town ASP designates a number of park spaces and trails within the Plan area. Residential development in the ASP area is well connected to the internal parks and open spaces through multi-use trails and pedestrian linkages.

MDP Land Use Policy	The Brickyard at Old Town Principles
<p>6.2.f. The Town will require that new area structure plans and subdivision applications connect municipal and environmental reserves throughout the plan area and adjacent developments or municipalities.</p>	<p>➤ The Brickyard at Old Town ASP connects MR areas within the Plan to those in adjacent developments through both vehicular and pedestrian networks. The adjacent developments are the Aspen Meadows ASP to the west, and the sport and recreational areas to the east.</p>
<p>6.5.a. Combined with specific controls arising from the growth management policy framework, area structure plans that have been adopted will be re-evaluated to ensure conformity with this MDP.</p>	<p>➤ The lands within The Brickyard at Old Town ASP fall within the two previously planned area structure plans: Tiffany Greenfield and Lakeview. In order to conform to the 2013 MDP as well as the changing market conditions, adopting The Brickyard at Old Town ASP will require the repeal of the Tiffany Greenfield and Lakeview ASPs.</p>
<p>6.5.b. To create new neighbourhoods that are complete and resilient, the following principles should be applied:</p> <p>6.5.b.i a variety of appropriate uses, including housing, institutions, parks and local commercial facilities should be encouraged;</p> <p>6.5.b.ii a diversity of housing types (single-detached and semi-detached/duplex, modular homes, townhomes, apartments and other forms, such as secondary suites or garage suites) for different households, income levels and lifestyles should be integrated into each neighbourhood; and</p> <p>6.5.b.iii. residential development should be supported by services and amenities, with higher levels of public amenity in areas with higher density.</p>	<p>➤ The Brickyard at Old Town ASP has been developed to serve as a primarily residential development which complements the development in the surrounding neighbourhoods. A number of parks, open spaces, and trails have been provided to meet the active and passive recreational needs of the residents.</p> <p>➤ The Plan provides low, medium and high density residential land uses which permit a choice of accommodations for the neighbourhood's future residents. These land uses will comprise a mix of dwelling types including single detached, semi-detached, row houses, and apartments.</p> <p>➤ These residential developments will be supported by a number of services and amenities within the Plan area as well as through adjacent areas. Parks, open spaces and trails are provided within the Plan area whereas, institutional and commercial land uses are provided or proposed to the north, east, south and west of the Plan area.</p>

MDP Land Use Policy	The Brickyard at Old Town Principles
<p>6.5.c. The Town may consider locations for higher density, multi-unit development outside of the downtown core, provided the following criteria are met:</p> <ul style="list-style-type: none"> 6.5.c.i located adjacent to collector and arterial roadways, provided the development can effectively buffer residents from traffic noise and visual impacts through appropriate urban design and landscaping; 6.5.c.ii proximity to employment centres, shopping and other community amenities; 6.5.c.iii. higher density housing forms, particularly apartments, should be adjacent to park developments or linear open spaces; <p>6.5.d. To promote healthy lifestyles and interpersonal relationships by means of a compact, walkable neighbourhood, the following should be incorporated:</p> <ul style="list-style-type: none"> 6.5.d.i. a sustainable density that makes efficient use of land; 6.5.d.ii. viable commercial services and amenities that are located within walking distance; 6.5.d.iv. a safe pedestrian-friendly system. 	<ul style="list-style-type: none"> ➤ The Brickyard at Old Town ASP provides high density development along the collector road. At the detailed design stage, site design and landscaping will take into consideration traffic noise and visual impacts. ➤ The high density developments proposed in the ASP are located within close proximity to the downtown core, parks, open spaces, trails, sports and recreational facilities. <ul style="list-style-type: none"> ➤ The Brickyard at Old Town ASP promotes a healthy lifestyle by providing a number of parks, open spaces, trails and pedestrian linkages to support the active and passive recreational needs of the residents Figure - 6 Pedestrian Connection Plan). ➤ Higher density residential housing forms are located within close proximity to the collector roads, parks and open spaces. ➤ The downtown is within close proximity to the ASP area, offering residents access to commercial and professional services and community amenities. A commercial parcel is located north of the ASP area. ➤ The design of the ASP encourages passive neighbourhood surveillance, which enhances pedestrian safety. ➤ The ASP area has a strong emphasis on pedestrian connectivity and is designed to be a safe environment for pedestrian circulation.

MDP Land Use Policy	The Brickyard at Old Town Principles
<p>6.5.e. To provide interconnectedness throughout the neighbourhood and to connect neighbourhoods to each other, neighbourhood design should include:</p> <ul style="list-style-type: none"> 6.5.e.i. safe, convenient access; 6.5.e.ii. a fine-grained, modified grid pattern that allows for short trips and to disperse congestion; 6.5.e.iv. multi-use trails; 6.5.e.v. a balanced model, supportive of walking and cycling; and 6.5.e.vi. transit-supportive development, by locating density in relation to potential transit routes. 	<ul style="list-style-type: none"> ➤ The Plan area is designed to complement and connect with the adjacent residential developments via vehicular and pedestrian linkages. ➤ The ASP provides three collectors which help disburse vehicular traffic over several roadways by providing multiple movement options in and out of the neighbourhood. ➤ The Brickyard at Old Town ASP provides a number of multi-use trails and pedestrian linkages which support the active and passive recreational needs of the residents. ➤ The ASP will accommodate future public transit routes along the collector roads.
<p>6.5.g. To create unique areas with their own exceptional character and sense of place that fosters community identity and pride:</p> <ul style="list-style-type: none"> 6.5.g.iv. community amenities should be located to help in 'place-making,' creating community identity and fostering social interaction. 	<ul style="list-style-type: none"> ➤ The Brickyard at Old Town ASP will contribute to community pride by building upon the existing local character of the Heritage Estates neighbourhood and the historic downtown core. Home builders will be encouraged to incorporate high standard building and architectural styles to enhance the Town's heritage theme, small town character and promote a unique and attractive character of the ASP. ➤ Sense of community will be encouraged through a series of community parks and open spaces linked together via pedestrian linkages.
<p>6.5.h. To develop neighbourhoods that are socially and physically connected, the Town will enhance opportunities for community gathering by:</p> <ul style="list-style-type: none"> 6.5.h.i. reinforcing the use of gathering places through social, recreational and cultural programming by both the Town and other groups. 	<ul style="list-style-type: none"> ➤ The land uses proposed within The Brickyard at Old Town ASP compliment the surrounding residential developments as well as support the downtown and employment opportunities outside of the Plan area. ➤ The Plan area is located immediately west of the Glenn Hall centennial Arena sport and recreational site, which contains sport fields, swimming pool, outdoor rinks, and a spray park. These spaces will be supported by the residential land uses being proposed within The Brickyard at Old Town ASP.

6.0 IMPLEMENTATION

The Brickyard at Old Town ASP will be developed in stages in accordance with market demands, over an approximate 10 to 15 year horizon. The following sections outline the recommended implementation sequence and rational for neighbourhood unit development.

6.1 Development Staging

Figure - 10 Proposed Staging Plan illustrates the proposed development sequence for The Brickyard at Old Town ASP. The development represents a logical and contiguous extension of residential land use patterns that have been established in Stony Plain. Development of the first stage of the ASP area was initiated in 2013 and is illustrated as “Built by 2015” in **Figure 10**. The remaining phases of development are anticipated to proceed as illustrated in consideration of the increase housing demand in Stony Plain, land absorption, and the completion of the surrounding neighbourhoods.

Infrastructure to service this neighbourhood will be extended as per detailed engineering.

6.2 Redistricting and Subdivision

The Brickyard at Old Town lands are currently districted R-1A, R-1B, R-1C, R-1D R-2S, U-R, P-U, P and DC-2. Undeveloped lands within the ASP area will be redistricted to the Urban Reserve U-R concurrently with the ASP application. Redistricting and subdivision of the land will occur in compliance with the approved ASP at a later stage in planning and development.

Staging for the proposed development in the ASP area is shown in **Figure - 10** Proposed Staging Plan. This staging is tentative only and may change subject to market conditions.

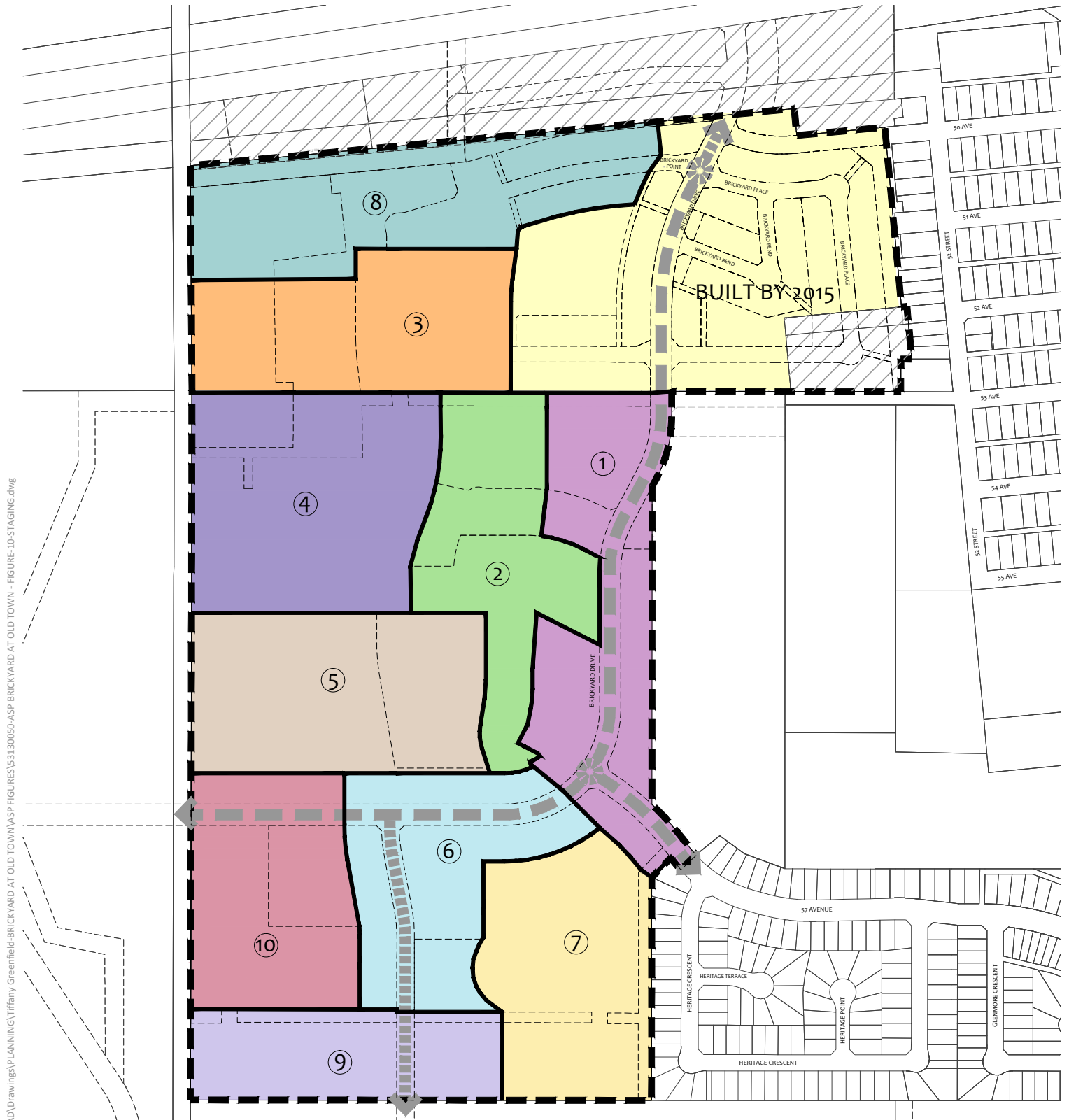
The ASP provides for 9% MR in the form of parks and open spaces. The remaining 1% MR will be integrated into existing parks and open spaces or provided as cash-in-lieu. The MR is largely concentrated in the northwest and southern portions of the ASP area. The development in the ASP area will proceed stage by stage through detailed planning and engineering for various subdivisions. Some subdivisions may not meet the 10% MR requirement, however, they will be contributing to the overall MR of the ASP as shown in **Table 2: Land Use Statistics**. A Deferred Reserve Caveat (DRC) will be registered on the subdivisions where MR is under-dedicated. This under dedication of the MR will be balanced by other subdivisions in the ASP area where MR dedication is in excess of the 10%.



Scale 1:6,000

The Brickyard at Old Town

Area Structure Plan



Please Note: Staging shown is tentative only and subject to market conditions

Legend

— ASP Boundary ① Proposed Staging

MODIFIED DATE: 2014-10-06
S:\Projects\5313005000 The Brickyard\CAD\Drawings\PLANNING\Tiffany Greenfield-BRICKYARD AT OLD TOWN\ASP FIGURES\53130050-ASP BRICKYARD AT OLD TOWN - FIGURE-10-STAGING.dwg



MMM GROUP
#200, 10576 - 113 Street Edmonton, AB T5H 3H5

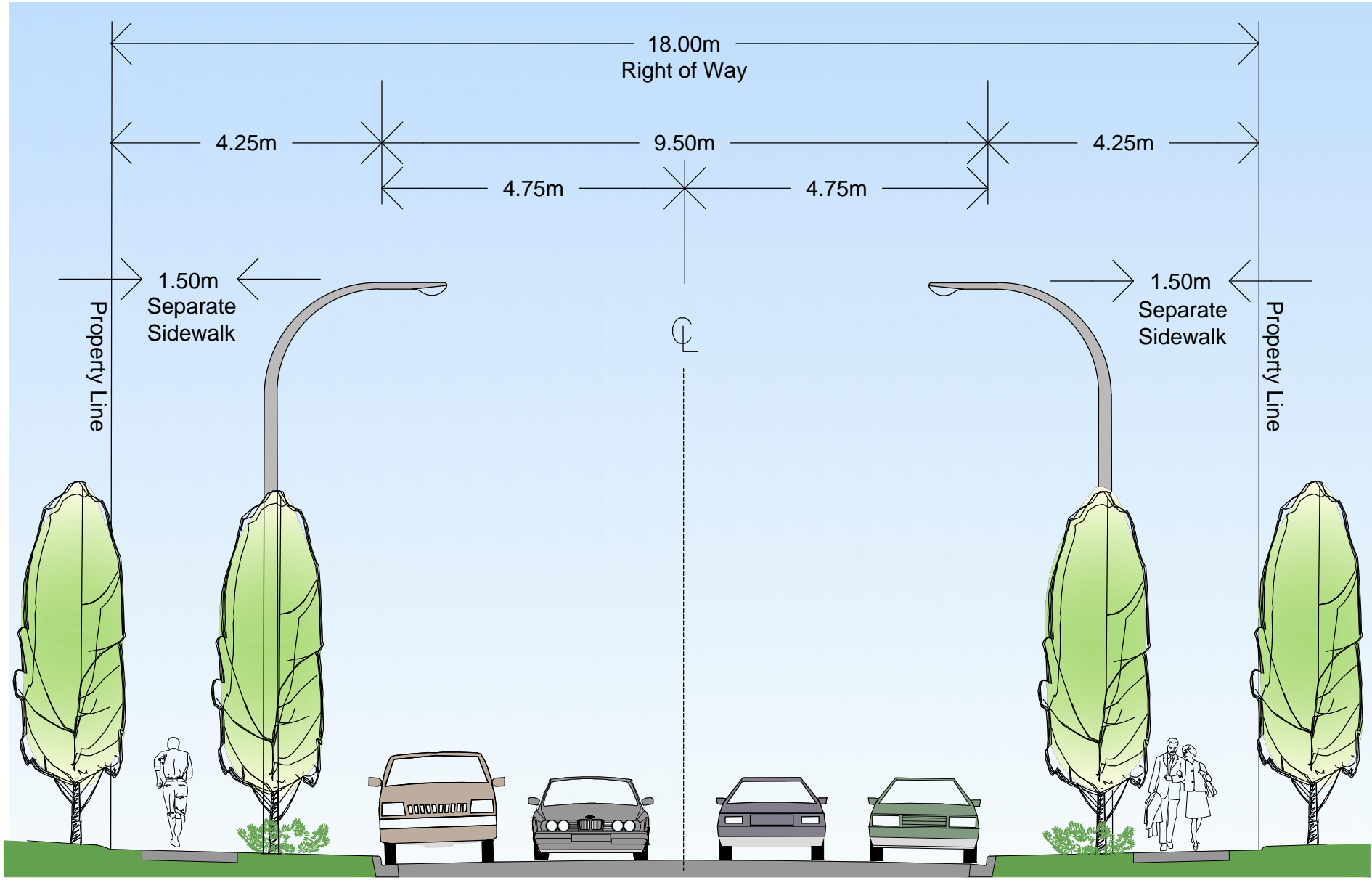
Figure - 10 Proposed Staging Plan

THE BRICKYARD

A T • O L D • T O W N

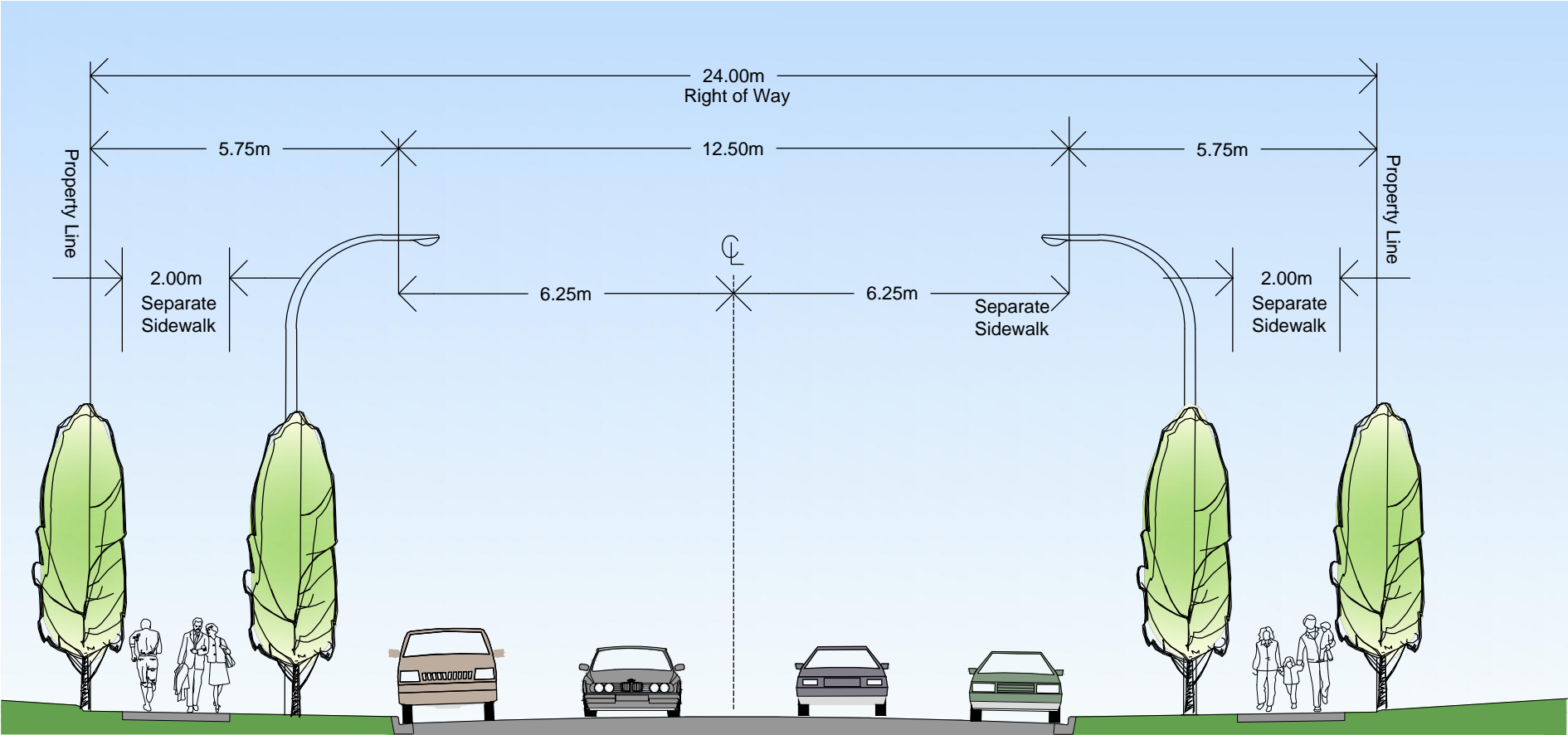


Cross-Section A-A



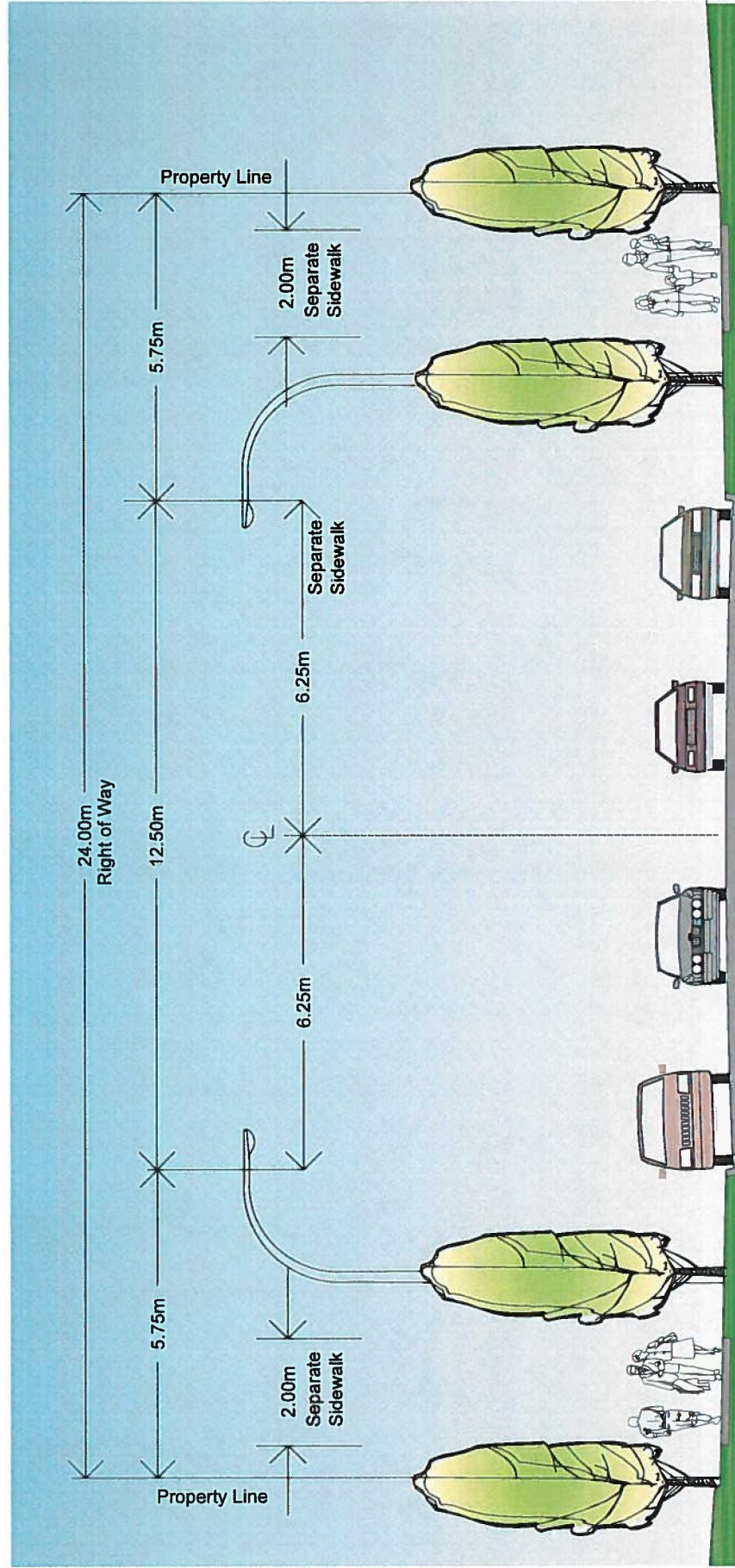
18.0m Local Road With Separate Sidewalks

Cross-Section B-B



24.0m Collector Road With Separate Sidewalks (Brickyard Drive)

Cross-Section B-B



24.0m Collector Road With Separate Sidewalks (Brickyard Drive)